

Barby and Onley

Housing Needs Assessment (HNA)

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Quality information

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List of acronyms used in the text:

DLUHC	Department for Levelling Up, Housing and Communities (formerly MHCLG)
HMA	Housing Market Area
HNA	Housing Needs Assessment
HRF	Housing Requirement Figure (the total number of homes the NA is expected to plan for, usually supplied by LPAs)
HLIN	Housing Learning and Improvement Network
HRP	Household Reference Person
LA	Local Authority
LHN	Local Housing Need
LHNA	Local Housing Needs Assessment
LPA	Local Planning Authority
LSOA	Lower Layer Super Output Area
MSOA	Middle Layer Super Output Area
NA	Neighbourhood (Plan) Area
NP	Neighbourhood Plan
NPPF	National Planning Policy Framework
OA	Output Area
ONS	Office for National Statistics
PPG	Planning Practice Guidance
PRS	Private Rented Sector
RQ	Research Question
SHMA	Strategic Housing Market Assessment
VOA	Valuation Office Agency

1. Executive Summary

1. Barby and Onley is a Neighbourhood Area (NA) located in the district of West Northamptonshire (formerly Daventry). The NA boundary covers the areas administered by Barby and Onley Parish Council.
2. The 2021 Census recorded 2,625 individuals in Barby and Onley, indicating an increase of 289 people since the 2011 Census.
3. There has been some development in Barby and Onley in recent years. West Northamptonshire has provided data showing that 15 new homes have been built since 2011. Of these, 2 were delivered as Affordable Housing. The current total number of dwellings in the NA is estimated to be 578 (Census 2021).
4. This Executive Summary details the conclusions of each chapter of this Housing Needs Assessment (HNA), addressing each of the themes agreed with the Barby and Onley Neighbourhood Plan Review Group at the outset of the research.
5. Data from the 2021 Census is being released throughout 2023. At present, the available data covers population, households, tenure, and dwelling stock characteristics. Some data from the Census 2021 at the localised level, including parishes, will not be available until later in 2023, as well as data comparing numerous variables. As such this HNA will draw on the latest available data from the 2021 Census where possible and will also continue to use other data sets, including 2011 Census, Valuation Office Agency data, and ONS parish projections where necessary to build up evidence at the neighbourhood level.

Tenure and Affordability

Current tenure profile

6. Barby and Onley has a tenure profile which is dominated by people who own their own homes (84%) – a proportion significantly higher than the district and national average. The NA has a much smaller socially rented and private rented sector than West Northamptonshire and the national average. Between 2011 and 2021 the private rented sector in Barby and Onley grew by 70% over the last decade.

Affordability

7. The current median house price in Barby and Onley is £350,000, which represents growth of 62% over the last decade. Lower Quartile (lowest 25%) prices grew by 80% over the same time period to a current average of £281,400.
8. The average household income in Barby and Onley is estimated to be £48,800. The lower quartile income for the district (that of the lowest earning 25% of people) was around £19,500 in 2020, so a household with two lower earners could be expected to earn around £39,000.
9. There is a clear issue regarding the affordability of housing in Barby and Onley, with the median house price requiring an income of £90,000, which is nearly double the

average income. Moreover, both entry level and new build homes are generally out of reach for the average earning household.

10. Affordability is seemingly better in the rental market, with average priced rental homes accessible to households on average incomes. However, rental properties still present issues of affordability to households on lower incomes.
11. Given the large gap between the affordability of renting and ownership, affordable home ownership products offer good potential to extend home ownership in the NA. However, First Homes would need to be offered at a minimum discount of 50% to be within the income threshold of households on average incomes.
12. Shared Ownership homes at an equity share of 25% potentially represent a more accessible route to home ownership than First Homes for average income households, and at an equity share of 10% could extend home ownership to households with two lower earners.
13. Private renting appears to be an affordable option for average earning households and households with two lower earners, but still exists at a very small scale in the parish.

The need for Affordable Housing

14. A Housing and Employment Needs Assessment (HENA) was undertaken for West Northamptonshire in 2021 which considered the housing needs of the district and can be used to give an indication of the scale of affordable housing need in Barby and Onley. The figures presented in this document can be pro-rated to the NA based on their fair share of the overall population, which is 1% of the study area when the areas dominated by the prison population are excluded. This produces an estimate that Barby and Onley require 3 units of social/affordable rented homes per annum, or 60 over the Neighbourhood Plan period (2021-2041). Given that there is no exact method to exclude the institutional population, it is possible that the full need is slightly higher than 3 units per annum, but much lower than the 6 units per annum which is the result when the full parish population is included.
15. The HENA provides an equivalent estimate for the scale of the demand for affordable home ownership products across West Northamptonshire which identified a district wide need for 1 unit in the Daventry area of West Northamptonshire. This result was strongly influenced by a particular assumption that diverges from AECOM's approach and may not apply in the NA (because it relies on people being able to access the cheapest market homes across the whole local authority area). Consequently, AECOM has separately estimated Barby and Onley's potential demand for affordable home ownership products. The result is a potential demand for around 1 unit per annum (rounded) or 27 over the entire Neighbourhood Plan period (2021-2041).
16. It is recognized that the HENA figures relate to the whole district which are shown on a pro-rata basis for the Parish, rather than indicating local need. As there is no housing requirement for the Parish, very limited facilities and services and as the requirement for affordable housing is triggered by an application for 10 or more dwellings, it is unlikely that the volume of market housing to generate the provision of affordable housing will be forthcoming over the Plan period.

17. The level of affordable housing indicated here can be met through rural exception sites, which will only be approved where there is proven local need as demonstrated by the outcome of a local housing needs survey.

Affordable Housing policy

18. Barby and Onley Neighbourhood Plan Review Group have not yet been provided with an indicative or definite Housing Requirement Figure by West Northamptonshire. As such, it is difficult to define how much Affordable Housing may be delivered in future, and whether this satisfies the need identified.
19. This HNA would suggest an Affordable Housing tenure mix in Barby and Onley of 65% affordable rented and 35% affordable ownership accommodation. This is due to the particularly acute levels of unaffordability in the NA. An increase in the supply of social/affordable rental homes would prioritise and respond to the most acute affordability pressures. However, adopting the mix above would still increase the supply of affordable home ownership products.
20. Affordable housing is typically provided and made financially viable by its inclusion as a proportion of larger market developments, as guided by Local Plan policy. However, if the community wishes to boost the supply of affordable housing, there are other, more proactive routes available for its provision. For example, using community development orders, identifying exception sites or developing community land trusts are all ways of boosting the supply of affordable housing.

Type and Size

The current housing mix

21. Currently there are 578 dwellings in Barby and Onley, occupied by 564 households. Comparing the 2011 and 2021 Censuses suggests the overall housing stock grew by 47 dwellings in the last decade, which is higher than the 15 new dwellings indicated through the completions data provided by the LPA. It is likely that some of these new dwellings were built but were not occupied around the time of the 2011 Census being completed.
22. Barby and Onley has a housing stock which is significantly biased toward detached and semi-detached dwellings, which make up over 90% of the total. This figure is much higher than the district and national average. The remainder is made up of terraced dwellings a very small number of flats.
23. In terms of size, the NA's housing stock is dominated by homes with more than 3 bedrooms, which make up more than 80% of the overall housing stock. There is a very small proportion of small 1 bed homes. However, the bias toward larger homes appears common across the unitary authority area.

Population characteristics

24. Barby and Onley has a population which is dominated by people between the ages of 25-64, who make up close to 70% of the overall population. However, it is likely that a

high number of people aged 25-64 are housed in the prisons, which is influencing the overall spread of the NA's population structure.

25. The population in the NA is ageing, and there has been a slight contraction in the younger age population (aged 0-24).
26. Household projections suggest this ageing will continue over the Neighbourhood Plan period, with a potential increase of 108% of the population aged 65 and over. This is in contrast to slow growth in the other age cohorts.

Future population and size needs

27. This study provides an insight into the likely need for different sizes of homes based on projected demographic change and gaps within the existing housing stock. To accommodate the future population of Barby and Onley and to diversify its housing mix, AECOM's modelling suggests the continued delivery of a range of different dwelling sizes, but with a focus on 2/3 bed homes. It should be noted that this model is a fairly blunt indication of future needs, which does not reflect the preferences or desires of individuals in relation to the size of homes they would like to live in.
28. When considering the future mix of housing in Barby and Onley in terms of size, this model should be considered alongside other factors such as the affordability and access of homes of different types and sizes, and the existing historic character of the area, which may favour certain types of homes. In summary, there are good reasons to depart from the results of this HNA model to allow for more balance than the model suggests. The focus on 2/3 bed homes suggested by the model would satisfy the needs of first-time buyers and newly arising families. However, there may be a desire to increase the supply of larger or smaller homes, if this aligns with the objectives of the community.
29. Equally, it is important to remember that other factors should be considered in determining the dwelling mix that is desirable in the parish or on any particular site. These include the specific characteristics of the nearby stock of housing (such as its condition and design), the role of the NA or site within the wider housing market area (linked to any Local Authority strategies or plans) and site-specific factors.

Specialist Housing for Older People

30. Currently there are 197 people aged 75+ living in Barby and Onley, a figure which has grown from 111 in 2011, and is projected to increase to 336 by the end of the Neighbourhood Plan period (2041).
31. A clear majority of West Northamptonshire's households aged between 55-75 in 2021 (therefore likely to reach the 75+ bracket by 2037) are owner occupiers (82%) and the remainder predominantly rent from a social landlord. This is important because those currently owning may require specialist accommodation for market purchase, being largely ineligible for subsidised housing, while those in private or social rent will need to rely on subsidised rented housing because they are unlikely to have the funds to buy.

32. The growth in the older population, which, rather than the total, is the focus of the estimates of need here, should be converted into households because some older people will be cohabiting in old age. The projected growth in the older population of 139 roughly translates to 77 new households formed of persons aged 75+ over the Neighbourhood Plan period. This may include some growth projected from the prison population, but this is unfortunately not able to be excluded from the calculation using available data.
33. The potential need for specialist housing with some form of additional care for older people can be estimated by bringing together data on population projections, rates of disability, and what tenure of housing the current 55-75 cohort occupy in the NA. This can be sense-checked using a toolkit based on national research and assumptions.
34. These two methods of estimating the future need in Barby and Onley produce a range of 19 to 31 specialist accommodation units that might be required during the Plan period. These estimates are based on the projected growth of the older population, thereby assuming that today's older households are already well accommodated. If this is found not to be the case, it would justify aspiring to exceed the range identified here. However, as noted above, the potential impact of older people in the prison population may have inflated the results, meaning that the real need may in fact be less than stated.
35. This report also estimates a need for 2 care homes beds over the NP period, where there is currently no provision of this kind of accommodation.
36. Note that Neighbourhood Plans typically cannot set the proportion of specialist housing that should be affordable – that usually has to be in line with Local Plan policy for all housing. If the known supply is all in one category, note that any additional provision could fill a different gap in the market. The main unmet need for approximately 22 units of market sheltered housing, this might be satisfied by making sure all new housing is accessible and adaptable for people with lower support needs.

2. Context

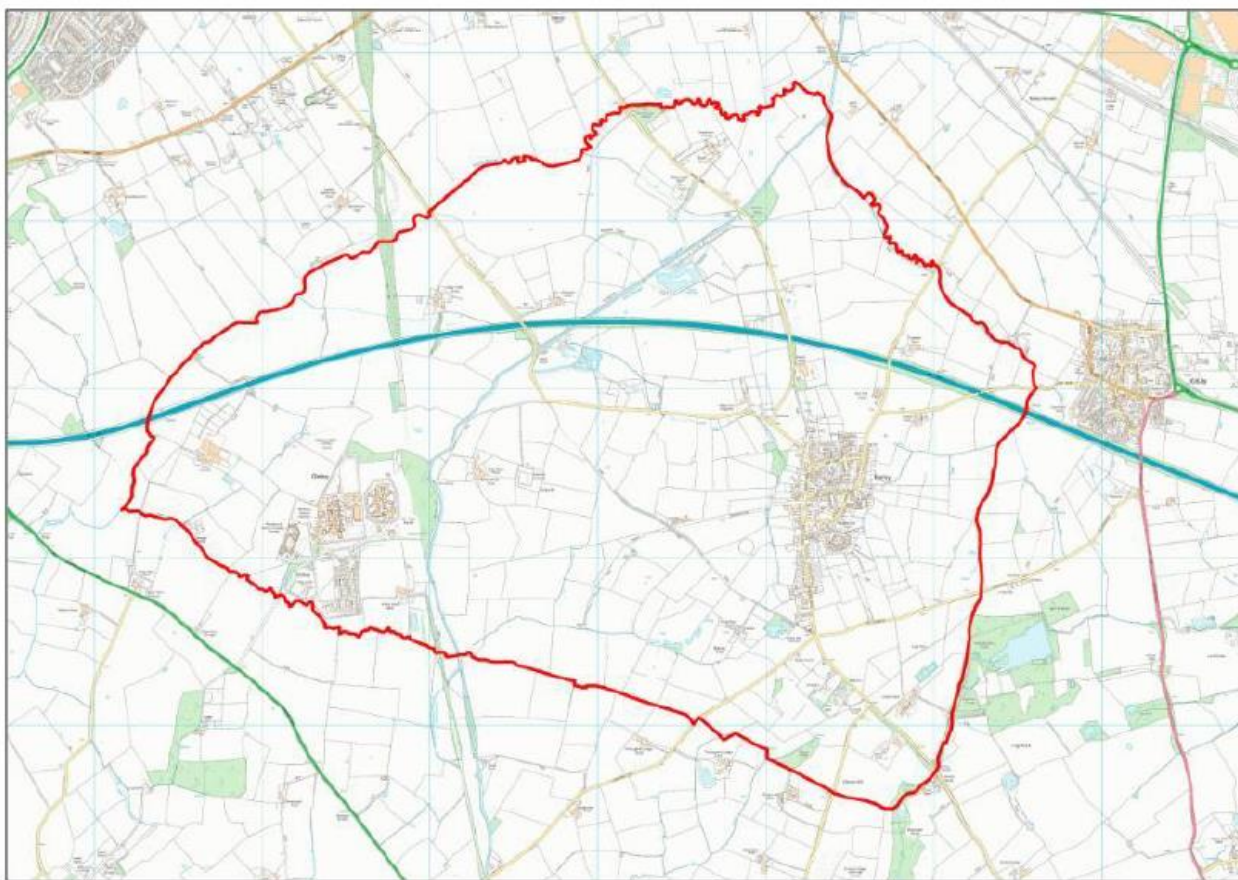
Local context

37. Barby and Onley is a Neighbourhood Area (NA) located in the unitary authority of West Northamptonshire in the East Midlands. The NA boundary was designated in 2013 and a Neighbourhood Plan for the area was adopted in 2016.
38. The West Northamptonshire unitary authority was created in 2021 through the amalgamation of Daventry, Northampton and South Northamptonshire Local Authorities. Previously, Barby and Onley was part of the district of Daventry.
39. The Barby and Onley Neighbourhood Plan Review Group are currently in the process of reviewing their adopted Neighbourhood Plan. The new plan is envisaged to start in 2021 and extend to 2041, therefore comprising a plan period of 20 years. The evidence supplied in this report will look forward to the Plan end date of 2041, but where possible will also provide annualised figures which can be extrapolated to a different term if the Plan period changes.
40. The parish of Barby and Onley comprises two distinct villages, set approximately 5 miles from Daventry. Barby is the larger of the two settlements. The villages benefit from a range of services including a bar, shops and other small businesses. Onley has a similar range of services, but contains three prisons (HMP Onley, HMP Ryehill and Rainsbrook STC), which fall within the NA boundary.

The NA boundary and key statistics

41. For Census purposes, the NA is made up, like the rest of England, of statistical units called Output Areas (OAs). A breakdown of the OAs relevant to Barby and Onley is provided in Appendix A. A map of the Plan area appears below in Figure 2-1.

Figure 2-1: Map of the Barby and Onley Neighbourhood Area



Source: Barby and Onley Designated NP area ¹

42. At the time of the 2011 Census the NA was home to 2,336 residents, formed into 521 households and occupying 531 dwellings. The 2021 Census indicates population growth of around 12% since 2011², recording a total of 2,625 residents and 564 households. The average household size decreased slightly.
43. West Northamptonshire has provided completions data showing that 15 new homes have been built since 2011. Of these, 2 were delivered as Affordable Housing.
44. It should be noted the number of households in comparison to the resident population of Barby and Onley, with an average of 4.7 people per household. Given the disparity between the number of dwellings and the overall population (which would imply an unrealistic average household size of 4.7), Census population statistics clearly include residents of the three prisons. Because institutional populations do not generate or impact on local housing need, it is appropriate to exclude this population from the analysis to follow where this is possible. There is an estimated 1,304 institutional population (Census 2021), therefore the non-prison residential population in Barby and

¹ Available at <https://www.daventrydc.gov.uk/EasySiteWeb/GatewayLink.aspx?allId=43173>

² It is worth noting that this figure is an estimate only, based on data which is mostly available at local authority level such as administrative registers of births and deaths, data on moves between local authorities, small-area population estimates and official population projections, and not based on a survey count.

Onley is 1,321³. This HNA will attempt to draw a distinction between the two populations where possible.

The housing market area context

45. Whilst this HNA focuses on Barby and Onley NA it is important to keep in mind that neighbourhoods are not self-contained housing market areas. Housing market areas are usually wider than local authority areas and often stretch across a number of districts or boroughs. This is because housing market areas are inherently linked to the labour market, employment patterns and travel to work areas.
46. In the case of Barby and Onley, the NA sits within a housing market area which covers the unitary authority of West Northamptonshire (formerly South Northamptonshire, Daventry and Northampton).^[1] This means that when households who live in these authorities move home, the vast majority move within this geography. The housing market area also has links to other neighbouring areas however, which potentially include Coventry and Birmingham
47. At the neighbourhood scale it is not possible to be definitive about housing need and demand because neighbourhoods, including Barby and Onley, are closely linked to other areas. In the case of Barby and Onley, changes in need or demand in settlements nearby (such as Daventry) are likely to impact on the neighbourhood.
48. In summary, Barby and Onley functions within a wider strategic area. As well as fostering good working relationships with the local planning authority (West Northamptonshire), it is therefore useful to think about the *role* of the neighbourhood within the wider area. This HNA can provide evidence to understand this role and the specific features of the neighbourhood within this wider context. Neighbourhood Plans can have a significant impact in shaping their neighbourhoods, enhancing the positive role the neighbourhood plays within the wider housing market, or developing policies to change entrenched patterns and improve housing outcomes in the neighbourhood and wider area.

Planning policy context

49. Neighbourhood Plans are required to be in general conformity with adopted strategic local policies.⁴ In the case of West Northamptonshire, the relevant adopted Local Plan consists of:
 - West Northamptonshire Joint Core Strategy – Local Plan (Part 1) (2011-2029);
 - Settlements and Countryside Local Plan – Daventry District (Part 2) (2011-2029).
50. West Northamptonshire unitary authority are currently in the process of updating their Local Plan and published a Local Development Scheme (LDS) in April 2023. No

³ Exact institutional populations are not yet available from the 2021 Census. However, residents within a communal establishment can be used as reasonable proxy for the institutional population.

^[1] <https://cms.westnorthants.gov.uk/media/497/download>

⁴ A description of the Basic Conditions of Neighbourhood Planning is available at <https://www.gov.uk/guidance/neighbourhood-planning--2#basic-conditions-for-neighbourhood-plan-to-referendum>

literature from the Local Plan review had been published at the time of writing this HNA.

51. A detailed breakdown of the Local Plan policies relevant to housing need is provided in Appendix B. Here, it is worth summarising the most important points of the adopted Local Plans:
- Adopted Local Plan Policy identifies an overall housing target of 42,630 homes over the plan period (2011-2029), of which Daventry can be expected to deliver 12,730 (West Northamptonshire Joint Core Strategy);
 - In Policy RA2 Barby is designated as a Secondary Service Village, which will be expected to meet some local housing needs. Policy RA3 designates Onley as an 'Other Village' where is limited scope for development other than windfall infill housing (Settlements and Countryside Local Plan).
 - Policy H2 states that 40% of all new dwellings in the Daventry Rural Area (where the NA is located) are expected to be delivered as Affordable Housing, on sites larger than 5 homes.
 - Policy HO8 sets out an expectation that 50% of new homes will be built to Category M4(2) accessibility standards (Settlements and Countryside Local Plan).

Quantity of housing to provide

52. The NPPF 2021 (paragraphs 66 and 67) requires LPAs to provide neighbourhood groups upon request with a definitive or an indicative number of houses to plan for over the Neighbourhood Plan period.
53. West Northamptonshire have not yet provided Barby and Onley with a Housing Requirement Figure (HRF). For the purpose of this study this figure is unknown, but once a figure has been arrived at, the calculations presented in the following chapters can be applied to the HRF to understand the expected delivery of, for example, Affordable Housing.

3. Objectives and approach

Objectives

54. This Housing Needs Assessment (HNA) is structured according to a number of themes or topics that were agreed at the outset of the research with the Barby and Onley Neighbourhood Plan Review Group. These themes are broadly aligned with the kinds of housing policy areas available to neighbourhood plans, and each will form a distinct chapter of this report. The sub-sections below give a brief overview of the objectives of each chapter.

Affordability and Affordable Housing

55. Neighbourhood plans may include policies that influence the scale of Affordable Housing provision and the mix of different tenures and products provided through new housing development.

56. This chapter has three aims, each given its own sub-section:

- To establish the existing **tenure** of homes within the NA at present (owner occupied, private rented, social/affordable rented, shared ownership);
- To examine the **affordability** of different tenures by considering house prices, rents, local incomes and earnings; and
- To estimate the scale of **need** for Affordable Housing, including the need for those who cannot afford to rent and those who cannot afford to buy.

57. The evidence gathered here can be used to justify planning policies in the Neighbourhood Plan, but it is likely that other supporting evidence may be needed, for example on viability. Local Plans typically include policies on Affordable Housing and whilst the Neighbourhood Plan must be in general conformity with these strategic policies, there is scope for Neighbourhood Plan policies to adopt some local variety where this is supported by the evidence.

Type and Size

58. It is common for neighbourhood plans to include policies that influence what form new housing should take in terms of type and size. This requires evidence of what local people need.

59. The focus of this chapter is to identify relevant trends and potential gaps in the market that can be used to justify planning policies. It has three aims, each given its own sub-section:

To establish what **mix** of housing exists in the NA at present;

To describe relevant characteristics of the local **population**; and

To look to the **future**, considering how the population is likely to evolve and what mix of homes would be most appropriate to build.

60. In addition to the direction of travel revealed by statistics, a variety of reasons sit behind people's housing choices that are less easy to predict, including wealth, accessibility requirements and personal preference. The conclusions and recommendations given here are sufficient for justifying planning policies but are not definitive. It is also appropriate to take into account other factors and evidence if desired.

Specialist Housing for Older People

61. It may be appropriate for neighbourhood plans in areas with aging populations to include policies relating to specialist housing for older persons.
62. This chapter supplements the demographic evidence relating to Type and Size, including the potential demand for downsizing, to consider the quantity and characteristics of need for housing for older people with some form of additional care. Its approach is as follows:
- To review the **current provision** of specialist housing in the NA;
 - To estimate the **potential demand** for this form of accommodation with reference to the projected growth in the older population and current rates of mobility limitation; and
 - To discuss the potential for meeting this need through adaptations to the mainstream stock and other **additional considerations**.
63. This element of the HNA recognises that the majority of older people will live in the mainstream housing stock and that there is no single way to meet their needs. It may also be inappropriate to focus excessively on the needs of one group or to promote a specialist scheme in a location that lacks adequate services. These issues will be drawn out.

Approach

64. This HNA assesses a range of evidence to ensure its findings are robust for the purposes of developing policy at the neighbourhood plan level. This includes data from the 2021 and 2011 Censuses and a range of other data sources, including:
- ONS population and household projections for future years;
 - ONS population age estimates for parishes (as 2021 Census data does not yet include age profile at small scales);
 - Valuation Office Agency (VOA) data on the current stock of housing;
 - Land Registry data on prices paid for housing within the local market;
 - Rental prices from [Home.co.uk](https://www.home.co.uk);
 - Local Authority housing waiting list data; and
 - West Northamptonshire Housing and Economic Needs Assessment (HENA) (2021).
65. Data from the 2021 Census continues to be released throughout 2023. At present, the available data covers population, households, tenure, and dwelling stock characteristics. Some data at the localised level, including parishes, will not be available until later in

2023, as well as data comparing numerous variables. As such, neighbourhood level HNAs will draw on the latest available data from the 2021 Census where possible and will also continue to use other data sets, including 2011 Census, Valuation Office Agency data, and ONS parish projections to build up evidence at the neighbourhood level.

4. Affordability and Affordable Housing

Introduction

66. Neighbourhood plans may include policies that influence the scale of Affordable Housing provision and the mix of different tenures and products provided through new housing development.
67. This chapter has three aims, each given its own sub-section:
- To establish the existing **tenure** of homes within the NA at present (owner occupied, private rented, social/affordable rented, shared ownership);
 - To examine the **affordability** of different tenures by considering house prices, rents, local incomes and earnings; and
 - To estimate the scale of **need** for Affordable Housing, including the need for those who cannot afford to rent and those who cannot afford to buy.
68. The evidence gathered here can be used to justify planning policies in the Neighbourhood Plan, but it is likely that other supporting evidence may be needed, for example on viability. Local Plans typically include policies on Affordable Housing and whilst the Neighbourhood Plan must conform with these policies, there is scope for Neighbourhood Plan policies to adopt some local variety where this is supported by the evidence.

Definitions

69. This section uses a range of technical terms which are useful to define at the outset:
- **Tenure** refers to the way a household occupies their home. Broadly speaking, there are two categories of tenure: market housing (such as homes available to purchase outright or rent from a private landlord) and Affordable Housing (including subsidised products like social rent and shared ownership).
 - **Affordability** refers to the relationship between the cost of housing to buy or rent and the incomes and earnings of households.
 - The definition of **Affordable Housing** is set out in the NPPF 2021 (Annex 2) as 'Housing for sale or rent, for those whose needs are not met by the market...' We refer to Affordable Housing, with capital letters, to denote the specific tenures that are classified as affordable in the current NPPF (Annex 2). A relatively less expensive home for market sale may be affordable but it is not a form of Affordable Housing.
 - A range of affordable home ownership opportunities are included in the Government's definition of Affordable Housing, to meet the needs of those aspiring

to own a home. As part of this, the Government has introduced a new product called First Homes, although this is not yet reflected in Annex 2 of the NPPF.⁵

- **First Homes** is a new product and expected to be an important part of the strategy for improving access to home ownership. Its key features are explained in greater detail in Appendix C.

Current tenure profile

70. The current tenure profile is a key feature of the Neighbourhood Area (NA). Patterns of home ownership, private renting and affordable/social renting reflect demographic characteristics including age (with older households more likely to own their own homes), and patterns of income and wealth which influence whether households can afford to rent or buy and whether they need subsidy to access housing.

71. Table 4-1 presents data on tenure in Barby and Onley compared with West Northamptonshire and England from the 2021 Census. It shows that home ownership significantly dominates the tenure profile in the NA (84%), which is much higher than the district and national averages. In turn, Barby and Onley has a much smaller proportion of social and private renters.

Table 4-1: Tenure (households) in Barby and Onley, 2021

Tenure	Barby and Onley	West Northamptonshire	England
Owned	84.1%	64.8%	61.3%
Shared ownership	0.5%	1.5%	1.0%
Social rented	8.1%	14.4%	17.1%
Private rented	7.3%	19.2%	20.6%

Sources: Census 2021, AECOM Calculations

72. It is also worth comparing how the tenure mix has changed in the last ten years, using the 2011 Census (see Table 4-2). The most striking statistic is the increase in the number of private renters in the NA, which grew by over 70% over the last decade. Growth in the private rented stock can indicate deepening affordability challenges in the parish, as segments of the population who may typically be seeking to buy their home are forced to rent due to rising house prices. However, the table does not indicate a large increase in the absolute number of private renters over the last decade, which started from a low base in 2011 and still represents a small share of all households.

73. Otherwise, there has been little or slow growth in the other tenure options over the last decade.

⁵ The shape that the new First Homes product will take is set out in a Ministerial Statement issued in May 2021, available here: <https://questions-statements.parliament.uk/written-statements/detail/2021-05-24/hlws48>. The relevant update to PPG is available here: <https://www.gov.uk/guidance/first-homes#contents>.

Table 4-2: Tenure change (households) in Barby and Onley, 2011-2021

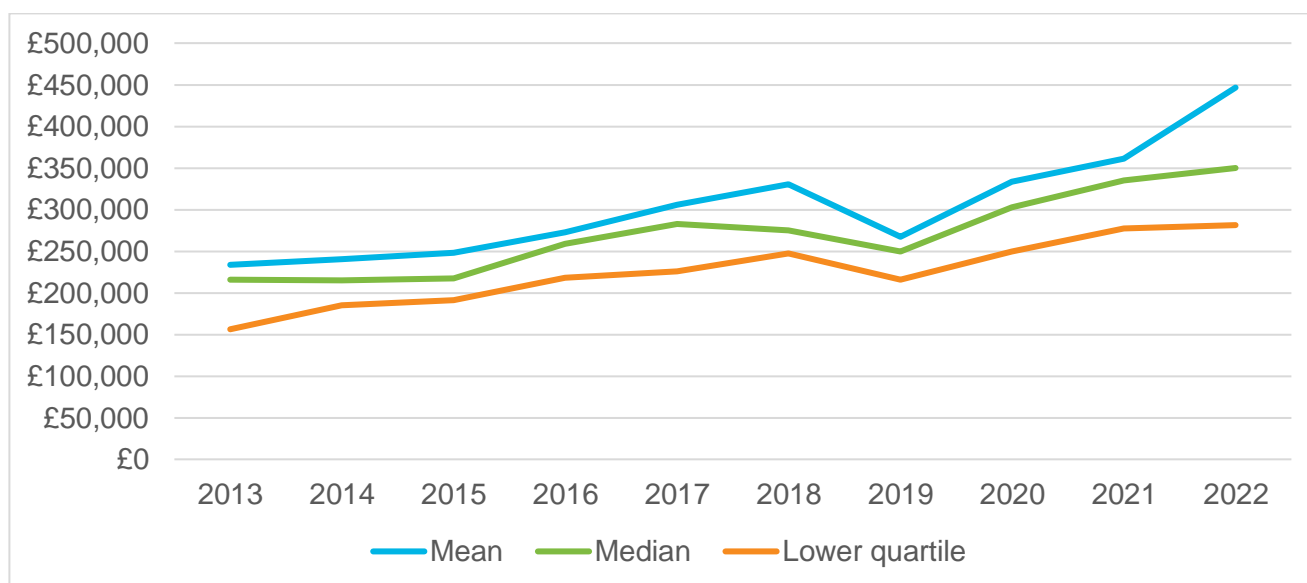
Tenure	2011	2021	% change
Owned	447	470	5.1%
Shared ownership	3	3	0.0%
Social rented	41	45	9.8%
Private rented	24	41	70.8%

Sources: Census 2021 and 2011, AECOM Calculations

Affordability

House prices

74. House prices provide an indication of the level of demand for homes within an area. The relationship between house prices and incomes determines whether housing is affordable to local households and, to a large extent, what tenure, type and size of home they occupy. Changes in affordability over time can indicate pressures in the housing market. As such, it is useful for the evidence base for plans to examine trends in prices and consider what this reveals about the local housing market.
75. Figure 4-1 looks at the average and lower quartile house prices in Barby and Onley based on sales price data published by the Land Registry. When looking at changes in the median house price, which represents the middle number when the data is sorted from smallest to largest, it shows that house prices have experienced relatively steady upward growth, despite a slight dip in 2019.
76. The current median house price in Barby and Onley is £350,000, which is 62% higher than the median price in 2013. The current mean, which represents the average of all house prices, is £446,000 which is slightly higher than the median price and is 91% higher than the average in 2013. Because the mean reflects the overall average there are some outlying data points of higher value sales which have the potential to skew the results.
77. The current lower quartile price, which is the middle figure of the lowest 50% of sales and acts as a good representation of entry level housing, is £281,400 – which is 80% higher than the 2013 average. This figure is not substantially lower than the median, suggesting there is little variation in the housing stock as a whole which may point toward fewer options at the lower end of the market. This is corroborated by the dwelling type data in the following chapter, which reveals a very high share of detached and semi-detached housing.
78. House prices in Barby and Onley appear to be slightly higher than the LA median, which currently sits at £280,000.

Figure 4-1: House prices by quartile in Barby and Onley, 2013-2022

Source: Land Registry PPD

79. Table 4-3 breaks down house prices by type, presenting the median within each type. It shows that there is a clear distinction between the value of detached housing and all other housing types when looking at the figures for 2022. However, it should be noted that there is a considerable increase of close to £300k between 2021 and 2022. The raw data shows that in 2022 there were four sales of over £650K, which appear to have skewed the overall median figure. As such, it is possible the figure for 2022 is slightly inflated and does not truly reflect the general price of detached dwellings in the NA. In general, the annual average by type is derived from a smaller sample size within each category that can mean that variation in the homes that happen to be sold in a given year (and their characteristics in terms of size, location and condition) can have a large impact on the average.

80. The other point worth noting from Table 4-3 is that sales for flats were only recorded in 2022, which suggests that there is a low supply of this housing type in the Barby and Onley (confirmed in the next chapter).

Table 4-3: Median house prices by type in Barby and Onley, 2013-2022

Type	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	Growth
Detached	£234K	£265K	£320K	£286K	£307K	£350K	£337k	£355K	£385K	£675K	176.9%
Semi-detached	£160K	£187K	£203K	£215K	£228K	£260K	£242K	£250K	£259K	£278K	73.6%
Terraced	-	-	-	£181K	£165K	£205K	£155K	£237K			30.7%
Flats	-	-	-	-	-	-	-	-	-	£335K	-
All Types	£216K	£215K	£217K	£259K	£283K	£275K	£250K	£303k	£335k	£350k	62.0%

Source: Land Registry PPD

Income

81. Household incomes determine the ability of households to exercise choice in the housing market, and consequently the level of need for affordable housing products. Two sources of data are used to examine household incomes in the NA.

82. The first source is ONS's estimates of incomes in small areas. This is locally specific but limited to the overall average income (i.e. it does not provide the average income of lower earners). The average total household income locally was £48,800 in 2018 (the most recent year for this dataset). Discussion about the area to which this data applies is provided in Appendix A.
83. The second source is ONS's annual estimates of UK employee earnings. This provides lower quartile average earnings (i.e. the income of the lowest 25% of earners). However, it is only available at the Local Authority level. It also relates to individual earnings. While this is an accurate representation of household incomes where there is only one earner, it does not represent household income where there are two or more people earning. West Northamptonshire's gross individual lower quartile annual earnings were £19,500 in 2022. To estimate the income of households with two lower quartile earners, this figure is doubled to £39,000.
84. It is immediately clear from this data that there is a large gap between the spending power of average earning households and those earning the lowest 25% of incomes, particularly where the household in question has one earner only.

Affordability Thresholds

85. To gain a clearer understanding of local affordability, it is useful to understand what levels of income are required to afford different tenures. This is done using 'affordability thresholds': the estimated amount of annual income required to cover the cost of rent or a mortgage given local housing prices.
86. AECOM has determined thresholds for the income required in Barby and Onley to buy a home in the open market (average and entry-level prices), and the income required to afford private rent and the range of Affordable Housing tenures as set out in the NPPF. These calculations are detailed and discussed in more detail in Appendix C.
87. The key assumptions made in assessing the affordability of different tenures are explained alongside the calculations, but it is worth noting here that we have assumed that the maximum percentage of household income that should be spent on rent is 30% and that mortgage financing will be offered at a maximum of 3.5 times household income. These are standard assumptions across housing needs assessments at neighbourhood and local authority scale although different approaches are sometimes taken and a case can be made for alternatives. This is discussed in more detail at the start of Appendix C.
88. Table 4-4 summarises the estimated cost of each tenure, the annual income required to support these costs within the NA, and whether local incomes are sufficient. The income required column assumes the household already has access to a deposit (which we have assumed to be 10% of the value to be purchased) but does not reflect the possibility that households may already hold equity from an existing property. Although these factors may be crucial to whether housing will be affordable, they are highly dependent on individual circumstances that cannot be anticipated here.

Table 4-4: Affordability thresholds in Barby and Onley (income required, £)

Tenure	Mortgage value (90% of price)	Annual rent	Income required	Affordable on average incomes? £48,000	Affordable on LQ earnings (single earner)? £19,500	Affordable on LQ earnings (2 earners)? £39,000
Market Housing						
Median House Price	£315,000	-	£90,000	No	No	No
Estimated NA New Build Entry-Level House Price	£294,836		£84,239	No	No	No
LQ/Entry-level House Price	£253,238	-	£72,354	No	No	No
LA New Build Median House Price	£293,396	-	£83,827	No	No	No
Average Market Rent	-	£11,400	£38,000	Yes	No	Yes
Entry-level Market Rent	-	£8,580	£28,600	Yes	No	Yes
Affordable Home Ownership						
First Homes (-30%)	£206,385	-	£58,967	No	No	No
First Homes (-40%)	£176,902	-	£50,543	No	No	No
First Homes (-50%)	£147,418	-	£42,119	Yes	No	No
Shared Ownership (50%)	£147,418	£4,095	£55,769	No	No	No
Shared Ownership (25%)	£73,709	£6,142	£41,534	Yes	No	No
Shared Ownership (10%)	£29,484	£7,371	£32,994	Yes	No	Yes
Affordable Rented Housing						
Affordable Rent	-	£6,240	£20,779	Yes	No	Yes
Social Rent	-	£5,044	£16,797	Yes	Yes	Yes

Source: AECOM Calculations

89. Before considering each tenure category in turn, it is important to stress that these affordability thresholds have been calculated to give an indication of the costs of various tenures to inform Neighbourhood Plan policy choices. These figures rely on existing data and assumptions, and it is not possible to estimate every possible permutation. The income figures also disguise a large degree of variation. For simplicity the analysis below speaks in terms of tenure products being 'affordable' or 'not affordable' for different groups, but individual circumstances and the location, condition and other factors of specific properties in each category have a large impact. These conclusions should therefore be interpreted flexibly.

Market housing for purchase and rent

90. Thinking about housing for purchase on the open market, it appears that local households on average incomes are unable to access even entry-level homes unless they have the advantage of a very large deposit. Market housing, even with the benefit of a higher than average income, is likely to remain out of reach to most. The median house price would require an annual income close to 90% higher than the current average.
91. Private renting is generally more affordable, with average earners and households with two lower quartile earners being able to afford the given rental thresholds for both

average and entry level rents. Affordability is improved if households are able or willing to dedicate a larger proportion of their incomes to rental costs, although this has repercussions for other quality of life aspects and cannot be assumed to suit all individuals' circumstances.

Affordable home ownership

92. There is a relatively large group of households in Barby and Onley who may be able to afford to rent privately but cannot afford home ownership. They are typically earning between around £38,000 per year (at which point entry-level rents become affordable) and £72,000 (at which point entry-level market sale homes become affordable). This 'can rent, can't buy' cohort may benefit from the range of affordable home ownership products such as First Homes and shared ownership.
93. First Homes are to be offered at a discount of at least 30% on equivalent market prices (i.e. new build, entry-level properties). Local authorities and neighbourhood plan qualifying bodies will have discretion to increase the discount on First Homes to 40% or 50% where there is evidence to suggest this is appropriate.
94. This report has estimated the income required to afford First Homes and tested the implications of 30%, 40% and 50% discount levels. In order to be affordable to average earning households, First Homes would need to be offered at a discount of 50%. Discounts at this rate could, however, present viability challenges in practice.
95. It is important to note that this evidence based on affordability does not provide a complete picture: evidence about the financial viability of development is also relevant. The question is whether demanding higher discount levels on First Homes will create a financial burden on developers that leads them to argue either that the discount level is not feasible or that the total amount of Affordable Housing may need to be decreased. This could effectively sacrifice the provision of affordable rented housing to provide a more attractive First Homes product. The issue of development viability is a specialist matter involving analysis of land values and build costs that is outside the scope of this assessment. If the Barby and Onley Neighbourhood Plan Review Group intend to set a higher First Homes discount level than that set at district level, further discussions with the LPA are advised.
96. Shared ownership appears to be more affordable than First Homes but is broadly accessible to the same groups. Government has recently announced that the minimum equity share for shared ownership will fall to 10% of the property value.⁶ If this is delivered in the NA, it will make shared ownership easier to access for more people. However, while the income threshold for a 10% equity shared ownership home is lower, this product may not necessarily be more attractive than the alternatives (such as shared ownership at higher equity shares and First Homes) for those who can afford them.
97. Rent to Buy provides households with the option to rent at a discount whilst saving for a deposit to buy their property within a set period (usually within 7 years). The income

⁶ The previous minimum equity share was 25%. This change took effect from 28 June 2021 and transitional arrangements are in place for planning policy documents that are prepared during the implementation timeframe. Changes are also introduced to make the process of staircasing to full ownership more gradual with lower minimum increments of 1%. The ministerial statement confirming and detailing the changes is available here: <https://questions-statements.parliament.uk/written-statements/detail/2021-05-24/hlws48>.

required to access Rent to Buy is assumed to be the same as that required to afford market rents. However, affordability to local households would depend on how rents are set. If Rent to Buy is offered at a discount to *entry level* rents, this would expand this route to home ownership quite significantly, but still only likely to be accessible to average earners. However, discounts on *average* rents would make Rent to Buy affordability, in terms of the household income required, comparable to First Homes and Shared Ownership. However, for some households, the availability of a deposit rather than income level per se is the key barrier to accessing home ownership. Rent to Buy may therefore offer a useful product to meet the needs of some households.

98. These three affordable home ownership products need to be considered in relation to what they offer occupants in the long term beyond simply being affordable to access or not:

- First Homes allow for a greater ownership stake in the property, enabling occupiers to benefit from price appreciation over time. Monthly outgoings are also limited to mortgage costs alone, which tend to be cheaper than renting.
- Shared ownership at high equity shares performs a similar function to First Homes, but there are additional costs associated with the rented portion.
- Shared ownership at low equity shares can usually be accessed by lower earning households (than First Homes) and requires a smaller deposit. However, this is a potentially less attractive route to eventual ownership because monthly outgoings remain high. The occupant has to pay a significant monthly rent as well as service charges and other costs, so it can be harder for them to save funds to buy out a greater share in the property over time.
- Rent to Buy requires no deposit, thereby benefitting those with sufficient incomes but low savings. It is more attractive than renting but results in a much slower accumulation of the funds that can provide an eventual route to ownership than the other tenures discussed above.

Affordable rented housing

99. Affordable rents set out in the table above are substantially below market rents. Whilst affordable rents can be set at up to 80% of market rents, in many locations Registered Providers (housing associations) set them to ensure that they are affordable to those claiming housing benefit, i.e. at or below Local Housing Allowance levels. This means that they are in practice below 80% of market levels. This appears to be the case in Barby and Onley.

100. Affordable rented housing is generally affordable to households with two lower earners depending on their household size (average earning households are unlikely to be eligible). However, households with a single lower earner appear unable to afford any of the tenures considered including the smallest socially rented units. Many such individuals will, if unable to secure a social rented dwelling require additional subsidy through Housing Benefit to access housing.

101. The evidence in this chapter suggests that the affordable rented sector performs a vital function in Barby and Onley as the only option for a large segment of those in the greatest need. Social rents are cheaper and would therefore leave households on lower earnings better off and better able to afford their other living costs, such as food and fuel etc. Where households are supported by housing benefit the difference in the cost of affordable and social rents may be irrelevant as the level of housing benefit flexes according to the rent. This means that households supported by housing benefit may be no better off in social rented accommodation because they receive a lower rate of housing benefit to cover their rent.

Estimates of the need for Affordable Housing

102. This section seeks to quantify the long-term potential need for Affordable Housing, which should be considered separately for affordable rented housing and affordable routes to ownership. The appropriate approach is taken based on the evidence available at Local Authority and NA scale.
103. A Housing and Employment Needs Assessment (HENA) was undertaken for West Northamptonshire in 2021. The study estimates the housing needs of West Northamptonshire based on analysis of the Council's housing waiting list and analysis of other data sets in line with Planning Practice Guidance at the time.
104. Given the recency of the relevant HENA (2021), prorating the figures presented in this document represent the most appropriate basis for estimating the likely need for Affordable Housing in Barby and Onley. The HENA estimates the need for an additional 202 affordable/social rental units per annum in former Daventry district (a sub-area of the wider unitary authority study area).
105. When this figure is prorated to Barby and Onley based on its fair share of the study area population (2.9% of the Daventry Population (Census 2021))⁷, the result is 6 units for affordable/social rent per year. This means that over the Neighbourhood Plan period (2021-2041), to fully meet Affordable Housing need, Barby and Onley would need to deliver a total of 121 social/affordable rented homes.
106. This figure may seem high in comparison to the current number of dwellings in the parish (121 being 22% of the current housing stock). However, this is because the prison populations are included in the overall population figures used in this estimate. There is no exact method to separate out the prison population but to give a sense of the need of the non-prison population of the NA, however residents of a communal establishment can be used to provide an estimate of the prison population, which is 1,304 for Barby and Onley.
107. This leaves a total of 1,321 residents, which account for 1.5% of the Daventry population referenced directly above. Prorating this proportion of the population equates to 3 units (rounded) for affordable/social rental per annum, or 60 over the Neighbourhood Plan period (2021-2041). Given that not every person living in the discounted OAs are part of the prison population, it is likely the actual need is slightly higher than the figure of 3 units per annum directly above, but lower than the figure of 6 units per annum derived from the full NA population.
108. Turning now to affordable home ownership, the HEDA estimates a net need for 1 unit in the Daventry district per annum. The HEDA arrives at this figure by suggesting that 50% of sales at the lower end of the mainstream housing market would satisfy this category of need. Given the small need figure it is not possible to prorate this figure to Barby and Onley.
109. As an alternative to this figure, using AECOM's own modelling, Table 4-5 estimates the potential demand in Barby and Onley. It suggests that there is a potential

⁷ It should be noted that district level population figures are only available for West Northamptonshire, the figure for Daventry has been arrived at by recreating the old district boundary using MSOA areas

demand for 1 unit of affordable home ownership per annum in the NA specifically, or 27 over the Neighbourhood Plan period (2021-2041).

110. There are several reasons for the variation in the figures presented in this report and those in the HEDA. The first is that AECOM's analysis does not consider LQ market sales in its approach to defining the demand for affordable home ownership. As such, Table 4-5 produces a localised demand based on the number of private renters identified and their ability to access homeownership. In contrast, the HEDA views sales at the lower end of the mainstream market as a way to satisfy the need for Affordable Home ownership. Where this is possible, it does not specifically test the affordability of these homes, nor does it account for dwelling type or location, leaving open the possibility that all of them could be small flats in the cheapest urban locations – which would not meaningfully widen access to ownership for people in Barby and Onley. Table 4-4 presented earlier in this chapter shows that entry level housing in Barby and Onley would require an income of approximately £72,000, which is unaffordable to average earning households, so it is unlikely that sales at the lowest end of the market would satisfy the demand for homeownership within the NA. Furthermore, given that this HNA is at a neighbourhood level, and considering the rural nature of Barby and Onley, whilst there may be a surplus of demand identified across the Daventry district of the HEDA, this would not preclude any localised demand which may be identified within the NA.
111. It is important to keep in mind that the households identified in this estimate are, by and large, adequately housed in the private rented sector, Affordable Housing, or living in other circumstances. They do not necessarily lack their own housing but would prefer to buy rather than rent. They have been included in the national planning definition of those in need of Affordable Housing, but their needs are less acute than those on the waiting list for affordable rented housing.

Table 4-5: Estimate of need for Affordable Housing for sale in Barby and Onley

Component of need or supply in the AECOM estimate	Per annum
Current need	1.1
Newly arising need	0.4
Supply	0.2
Net shortfall	1.3 (26.8 over NP period)

Source: AECOM model summary of estimates. Full estimate included in Appendix D

Affordable Housing policies in Neighbourhood Plans

112. This section outlines a common Neighbourhood Plan policy level around the tenure mix of affordable housing, provides a recommendation and summarises relevant considerations.

Application of Local Plan policies

113. West Northamptonshire's adopted policy on this subject H2 requires 40% of all new housing in the rural Daventry are to be affordable. Given that Affordable Housing made up 13% of new housing in Barby and Onley over the last decade according to West Northamptonshire completions figures, it is understood that this target is not usually met on sites in the NA – though this may in part be due to delivery being spread across smaller sites that do not meet the minimum threshold for affordable housing.
114. The overall proportion of housing that must be affordable is not an area of policy that a Neighbourhood Plan can usually influence, but it is worth emphasizing that the HNA finds there to be robust evidence of need for Affordable Housing in the NA, and every effort should be made to maximise delivery where viable. Changing or influencing the overall proportion of housing that must be affordable is uncommon in Neighbourhood Plans and would demand a high standard of evidence to depart from the Local Plan. If this is of interest, it should first be discussed with the LPA to ensure their support and to determine what additional evidence (e.g. about development viability) would be needed.
115. How the Affordable Housing that comes forward through mainstream development sites is broken down into specific tenures – such as the balance between rented tenures and routes to home ownership – is in the Local Plan, where it states 79% of new housing should be market housing and 21% for social/affordable rent.

Affordable Housing at Neighbourhood level

116. The HNA can provide more localised evidence, and this may be used to support Neighbourhood Plan policies. This section suggests an Affordable Housing tenure mix that might be suitable for Barby and Onley on the basis of identified housing need and a range of other considerations detailed in Appendix D.
117. The key factors are as follows:
 - This HNA estimates a need for between 3 and 6 new social/affordable dwellings per annum (based on the HENA), and the potential demand for 1 unit of affordable home ownership per annum.
 - Given the scale of development over the last decade, it is not likely that this need will be met in full over the Neighbourhood Plan period.
 - The affordability analysis earlier in this chapter established that socially rented housing is affordable and necessary for lower earning households. Yet whilst affordable home ownership may still present affordability challenges to lower earners in practice, an increase in provision would still meaningfully widen access to home ownership for local people. This suggests both should feature in the tenure mix.
118. The tenure split suggested in Table 4-6 below deviates slightly from the one presented in the West Northamptonshire Local Plan. This is to allow for a supply of affordable home ownership options. However, where the Barby and Onley

Neighbourhood Plan Review Group wish to develop policy that deviates from that outlined in the Local Plan – either by differing from the headline split between renting and ownership or by specifying a greater level of detail around sub-tenures, it is important that they liaise with West Northamptonshire to determine what additional evidence (notably about development viability) may be needed, and to ensure that departures from the local policy context have their support.

Table 4-6: Indicative tenure split (Affordable Housing)

Tenure	Indicative mix	Considerations and uncertainties
Routes to home ownership, of which	35%	
First Homes	25%	Product untested so uncertainties around viability, developer, lenders and buyer appetite etc.
Shared ownership	10%	Recently confirmed changes to the model to allow purchases of 10% share - impact on viability unknown. RPs business plans currently reliant on shared ownership model. Impact of displacement by First Homes unknown.
Rent to Buy	-	Emerging product with popularity and effectiveness as yet unknown. Impact of displacement by First Homes unknown.
Affordable Housing for rent, of which	65%	
Social rent	To be set by Registered Providers	Uncertain how much funding available to support this tenure in local area. Uncertain whether RPs willing to own/manage stock in this area.
Affordable rent	To be set by Registered Providers	Uncertain whether RPs willing to own/manage stock in this area.

Source: AECOM calculations

Conclusions- Tenure and Affordability

Current tenure profile

119. Barby and Onley has a tenure profile which is dominated by people who own their own homes (84%) – a proportion significantly higher than the district and national average. The NA has a much smaller socially rented and private rented sector than West Northamptonshire and the national average. Between 2011 and 2021 the private rented sector in Barby and Onley grew by 70% over the last decade.

Affordability

120. The current median house price in Barby and Onley is £350,000, which represents growth of 62% over the last decade. Lower Quartile (lowest 25%) prices grew by 80% over the same time period to a current average of £281,400.
121. The average household income in Barby and Onley is estimated to be £48,800. The lower quartile income for the district (that of the lowest earning 25% of people) was around £19,500 in 2020, so a household with two lower earners could be expected to earn around £39,000.
122. There is a clear issue regarding the affordability of housing in Barby and Onley, with the median house price requiring an income of £90,000, which is nearly double the average income. Moreover, both entry level and new build homes are generally out of reach for the average earning household.
123. Affordability is seemingly better in the rental market, with average priced rental homes accessible to households on average incomes. However, rental properties still present issues of affordability to households on lower incomes.
124. Given the large gap between the affordability of renting and ownership, affordable home ownership products offer good potential to extend home ownership in the NA. However, First Homes would need to be offered at a minimum discount of 50% to be within the income threshold of households on average incomes.
125. Shared Ownership homes at an equity share of 25% potentially represent a more accessible route to home ownership than First Homes for average income households, and at an equity share of 10% could extend home ownership to households with two lower earners.
126. Private renting appears to be an affordable option for average earning households and households with two lower earners, but still exists at a very small scale in the parish.

The need for Affordable Housing

127. A Housing and Employment Needs Assessment (HENA) was undertaken for West Northamptonshire in 2021 which considered the housing needs of the district and can be used to give an indication of the scale of affordable housing need in Barby and Onley. The figures presented in this document can be pro-rated to the NA based on their fair share of the overall population, which is 1% of the study area when the areas dominated by the prison population are excluded. This produces an estimate that Barby and Onley require 3 units of social/affordable rented homes per annum, or 60 over the Neighbourhood Plan period (2021-2041). Given that there is no exact method to exclude the institutional population, it is possible that the full need is slightly higher than 3 units per annum, but much lower than the 6 units per annum which is the result when the full parish population is included.
128. The HENA provides an equivalent estimate for the scale of the demand for affordable home ownership products across West Northamptonshire which identified a district wide need for 1 unit in the Daventry area of West

Northamptonshire. This result was strongly influenced by a particular assumption that diverges from AECOM's approach and may not apply in the NA (because it relies on people being able to access the cheapest market homes across the whole local authority area). Consequently, AECOM has separately estimated Barby and Onley's potential demand for affordable home ownership products. The result is a potential demand for around 1 unit per annum (rounded) or 27 over the entire Neighbourhood Plan period (2021-2041).

129. It is recognized that the HENA figures relate to the whole district which are shown on a pro-rata basis for the Parish, rather than indicating local need. As there is no housing requirement for the Parish, very limited facilities and services and as the requirement for affordable housing is triggered by an application for 10 or more dwellings, it is unlikely that the volume of market housing to generate the provision of affordable housing will be forthcoming over the Plan period.
130. The level of affordable housing indicated here can be met through rural exception sites, which will only be approved where there is proven local need as demonstrated by the outcome of a local housing needs survey.

Affordable Housing policy

131. Barby and Onley Neighbourhood Plan Review Group have not yet been provided with an indicative or definite Housing Requirement Figure by West Northamptonshire. As such, it is difficult to define how much Affordable Housing may be delivered in future, and whether this satisfies the need identified.
132. This HNA would suggest an Affordable Housing tenure mix in Barby and Onley of 65% affordable rented and 35% affordable ownership accommodation. This is due to the particularly acute levels of unaffordability in the NA. An increase in the supply of social/affordable rental homes would prioritise and respond to the most acute affordability pressures. However, adopting the mix above would still increase the supply of affordable home ownership products.
133. Affordable housing is typically provided and made financially viable by its inclusion as a proportion of larger market developments, as guided by Local Plan policy. However, if the community wishes to boost the supply of affordable housing, there are other, more proactive routes available for its provision. For example, using community development orders, identifying exception sites or developing community land trusts are all ways of boosting the supply of affordable housing.

5. Type and Size

Introduction

134. It is common for neighbourhood plans to include policies that influence what form new housing should take in terms of type and size. This requires evidence of what local people need.
135. This can be done using statistics to identify relevant trends and potential gaps in the market. That is the focus of this chapter of the HNA. The evidence gathered here can be used to justify planning policies either on its own or in combination with survey results expressing the specific wants and concerns of local residents. It will also build up a picture of the population and existing range of homes that may provide useful context for the neighbourhood plan.
136. This chapter has three aims, each given its own sub-section:
- To establish what **mix** of housing exists in the NA at present;
 - To describe characteristics of the local **population** that are relevant to housing need; and
 - To look to the **future**, considering how the population is likely to evolve and what mix of homes would be most appropriate to build.
137. It is important to keep in mind that housing need is not an exact science. To get from a set of facts about the population to an ideal mix of homes requires making assumptions. For example, there are clear patterns about what size of home families tend to live in at different stages of life. However, a variety of other reasons sit behind people's housing choices that are less easy to predict, including wealth, accessibility requirements and personal preference. Some trends can also change rapidly over time, such as the increasing preference for home working.
138. The conclusions and recommendations given here are therefore not definitive. Rather, they are what the statistics suggest future needs will look like based on current trends. This is sufficient for justifying planning policies, but it is also appropriate to take into account other factors and evidence if desired.

Definitions

- **Dwelling type:** whether a home is detached, semi-detached, terraced, a flat, bungalow or other type. Which a household chooses to occupy tends to be more about wealth and preference than a specific need.
- **Dwelling size:** how many rooms or bedrooms a home contains. While this could also mean floor area or number of storeys, the number of bedrooms is most reliably recorded in housing statistics. Bedroom numbers are also closely linked to family size and life stage.
- **Household:** a unit of people who live together, commonly a family, couple or single person. Not all dwellings contain a household, including properties that

are vacant and second homes, so the number of dwellings and the number of households in an area is usually different.

- **Household composition:** the specific combination of adults and children who form a household. The Census offers a number of categories, for example distinguishing between families with children who are dependent or non-dependent (i.e. adults). 'Other' households in the Census include house-sharers, groups of students, and multi-family households.
- **Household life stage:** the age of the lead member of a household – usually the oldest adult, or what used to be called the 'head of household'. Life stage is correlated with dwelling size as well as wealth.
- **Housing mix:** the range of home sizes and types in an area.
- **Over- and under-occupancy:** the degree to which the size and composition of a household lines up with the number of bedrooms in their home. If there are more bedrooms than the household would be expected to need, the home is considered under-occupied, and vice versa.

The current housing mix

139. This section establishes the current housing mix of Barby and Onley, highlighting recent changes to it and comparing the mix to wider averages.
140. Currently there are 578 dwellings in Barby and Onley, occupied by 564 households (Census, 2021). Comparing this figure to the 2011 Census total suggests there have been 47 new dwellings built in the past decade, which is higher than the 15 new dwellings indicated through the completions data provided by the LPA. It is likely that some of these new dwellings were built but were not occupied around the time of the 2011 Census being completed.

Dwelling type

141. Table 5-1 below shows the breakdown of different types of housing available in Barby and Onley. It shows that the Barby and Onley's housing stock is significantly skewed toward detached and semi-detached dwellings, which cumulatively account for over 90% of the total housing stock. In turn, the NA has a correspondingly low provision of terraced dwellings and flats.
142. Table 5-1 also presents figures from 2011, to give an understanding of how the housing stock may have changed over the last 10 years, however it does not show any significant variation over this time period.

Table 5-1: Accommodation type, Barby and Onley, 2011-2021

Type	2011	%	2021	%
Detached	248	46.7%	261	46.3%
Semi-detached	259	48.8%	268	47.5%
Terrace	20	3.8%	20	3.5%
Flat	3	0.6%	5	0.9%
Total	531	100%	564	100%

Source: ONS 2021 and 2011, VOA 2021, AECOM Calculations

143. Table 5-2 compares the NA mix to wider benchmarks. It shows that Barby and Onley has a much higher proportion of detached and demi-detached dwellings than the district and national average, and a correspondingly smaller proportion of terraced dwellings and flats.

Table 5-2: Accommodation type, various geographies, 2021

Type	Barby and Onley	West Northamptonshire	England
Detached	46.3%	31.7%	22.9%
Semi-detached	47.5%	31.6%	31.5%
Terrace	3.5%	23.1%	23.0%
Flat	0.9%	13.2%	22.2%

Source: Census 2021, AECOM Calculations

Dwelling size

144. Table 5-3 below presents the current housing mix in terms of size. It shows Barby and Onley's housing stock is dominated by homes with more than 3 bedrooms. The NA also has a very small proportion of smaller 1 bed homes.
145. The table below also presents figures from 2011, to give an understanding of how the housing stock may have changed over the last 10 years. However, there do not appear to be any significant changes in the percentage share of housing sizes over the period. It appears that most new homes have had 3 or more bedrooms.

Table 5-3: Dwelling size (bedrooms), Barby and Onley, 2011-2021

Number of bedrooms	2011	%	2021	%
1	10	1.9%	13	2.3%
2	80	15.4%	78	14.0%
3	232	44.5%	244	43.7%
4+	199	38.2%	223	40.0%
Total	521	100%	558	100%

Source: ONS 2021 and 2011, AECOM Calculations

146. Again, it is useful to look at the percentage breakdown of dwelling sizes in comparison with the wider district and country. Table 5-4 shows Barby and Onley has a higher proportion of larger 4+ bed homes than the district and national average. The NA also has a much smaller proportion of 1 bed homes than the two other benchmark areas.

Table 5-4: Dwelling size (bedrooms), various geographies, 2021

Number of bedrooms	Barby and Onley	West Northamptonshire	England
1	2.3%	8.7%	11.6%
2	14.0%	24.9%	27.3%
3	43.7%	39.1%	40.0%
4+	40.0%	27.3%	21.1%

Source: Census 2021, AECOM Calculations

Population characteristics

147. This section examines key characteristics of the local population that have a bearing on what housing might be needed in future years. Where available, recent data is used. However, for some information it is necessary to fall back on the 2011 Census.

Age

148. Table 5-5 shows the most recent age structure of the NA population, alongside 2011 Census figures. It shows that Barby and Onley has a population of 2,625, which has grown by 12% since the 2011 Census.

149. The same table shows that Barby and Onley has a high working age population, where 67% of the total population are aged between 25-64. In terms of how the population in Barby and Onley has changed over the last decade, the table shows that population growth is generally being experienced in the older cohorts (65-84 and 85+). This growth is in contrast to a contraction in the younger age groups (0-14 & 15-24).

150. It is difficult to be definitive about the age profile of the non-prison population within the NA, but it is likely that there a high number of people aged 25-64 are housed in the prisons, which is influencing the overall spread of the NA's population structure.

151. Given this uncertainty it is more appropriate to base housing need estimates on the age profile of the population by household, which will exclude the prison population. This is the approach taken later in this chapter.

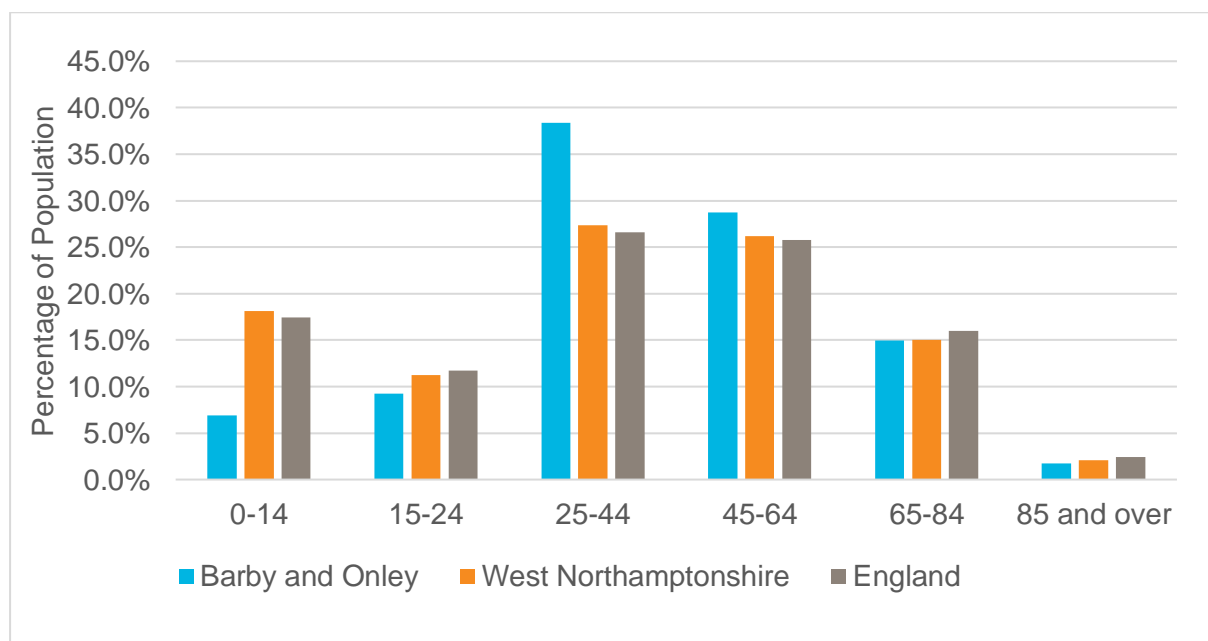
Table 5-5: Age structure of Barby and Onley, 2011 and 2021

Age group	2011 (Census)		2021 (Census)		Change
0-14	199	8.5%	182	6.9%	-8.5%
15-24	382	16.4%	243	9.3%	-36.4%
25-44	891	38.1%	1,007	38.4%	13.0%
45-64	600	25.7%	755	28.8%	25.8%
65-84	232	9.9%	392	14.9%	69.0%
85 and over	32	1.4%	46	1.8%	43.8%
Total	2,336	100%	2,625	100%	-

Source: ONS 2011, ONS 2021, AECOM Calculations

152. For context, it is useful to look at the NA population structure alongside that of the district and country. Figure 5-1 (using 2021 Census data) shows that Barby and Onley has a significantly higher proportion of its population aged 25-44 than the district and national average, again pointing to the influence of the prison population. The NA also appears to have a much smaller proportion of younger people aged 0-14 than wider averages, which may be a function of ageing in the local population, but is also likely to be influenced in part by the large prison population (without children in the parish).

Figure 5-1: Age structure in Barby and Onley, 2021



Source: ONS 2021, AECOM Calculations

Household composition and occupancy

153. Household composition (the combination and relationships of adults and children in a dwelling) is an important factor in the kinds of housing needed over the Neighbourhood Plan period. Table 5-6 shows that there is not much distinction between Barby and Onley in terms of the composition of their respective housing groups stocks. However, the NA does appear to have a slightly higher proportion of single people aged 65+ and families aged 65+ than the district average, and West Northamptonshire has a higher proportion of families with dependent children.

Table 5-6: Household composition, Barby and Onley, 2021

Household composition		Barby and Onley	West Northamptonshire	England
One person household	Total	24.1%	26.9%	30.1%
	Aged 66 and over	13.9%	11.3%	12.8%
	Other	10.2%	15.6%	17.3%
One family only	Total	71.7%	66.0%	63.1%
	All aged 66 and over	13.9%	9.2%	9.2%
	With no children	19.5%	18.2%	16.8%
	With dependent children	22.7%	27.7%	25.8%
	With non-dependent children ⁸	11.1%	10.1%	10.5%
Other household types	Total	4.2%	7.1%	6.9%

Source: ONS 2021, AECOM Calculations

154. The tendency of households to over- or under-occupy their homes is another relevant consideration to the future size needs of the NA. A person is considered to under-occupy their home when there are more bedrooms in their home than a family of their size and composition would normally be expected to need. This is expressed as an occupancy rating of +1 or +2, indicating that there is one surplus bedroom or at least two surplus bedrooms (respectively). Over-occupancy works in the same way, with a rating of -1 indicating at least one bedroom too few.

155. The table shows that the parish population is generally well housed, with only 2% of households being over occupied (overcrowded). However, the data shows that households in the parish tend to have at least one more bedroom than they would be expected to need (87%). This dynamic appears to be most prevalent in the older population but is also common with single person households.

Table 5-7: Occupancy rating by age in Barby and Onley, 2021

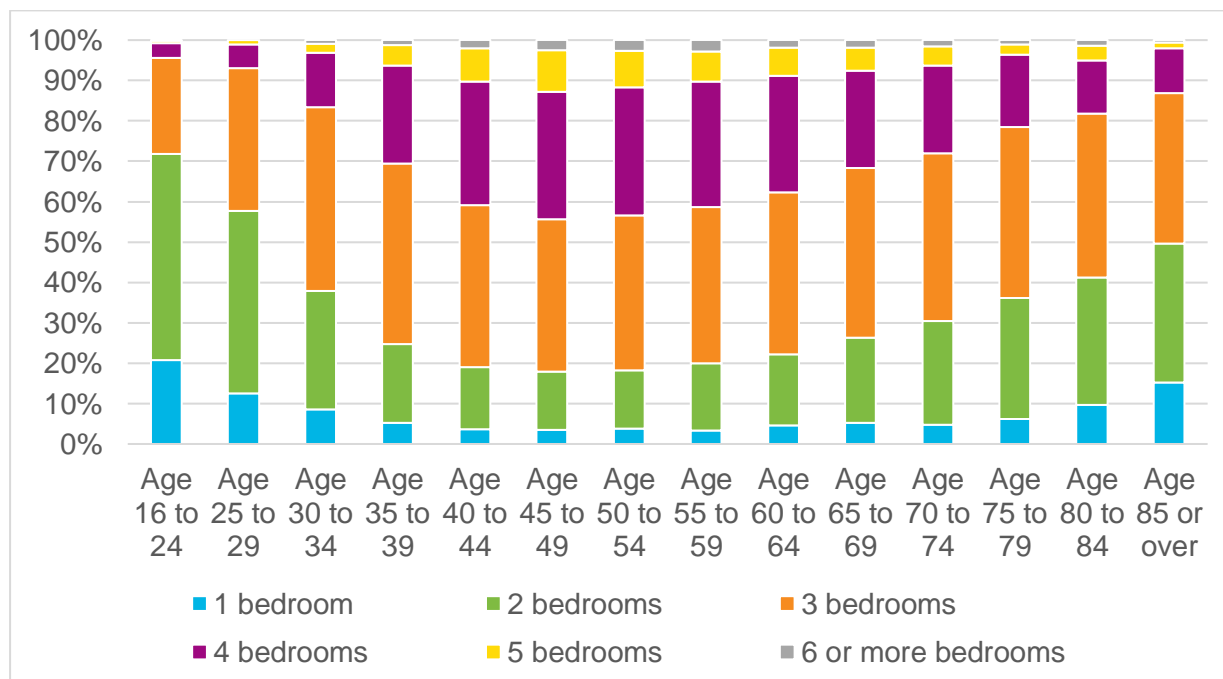
Household type	+2 rating	+1 rating	0 rating	-1 rating
Family 66+	81.2%	17.4%	1.4%	0.0%
Single person 66+	78.9%	21.1%	0.0%	0.0%
Family under 66 - no children	80.2%	19.0%	0.8%	0.0%
Family under 66 - dependent children	30.7%	37.9%	25.7%	5.7%
Family under 66 - adult children	44.4%	48.1%	7.4%	0.0%
Single person under 66	65.5%	24.1%	10.3%	0.0%
All households	59%	28%	11%	2%

Source: ONS 2021, AECOM Calculations

⁸ Refers to households containing children who are older than 18 e.g students or young working people living at home.

156. As noted in the introduction to this chapter, the life stage of households is strongly correlated with the size of home they tend to occupy. Figure 5-2 sets out this relationship for Daventry in 2011 (because this data is not available at smaller scales - West Northamptonshire unitary authority had not been created at the time of the 2011 Census) . The graph shows how the youngest households tend to occupy the smallest dwellings, before rapidly taking up larger homes as their families expand, and then more gradually downsizing to smaller homes again as they age.

Figure 5-2: Age of household reference person by dwelling size in West Northamptonshire, 2011



Source: ONS 2011, AECOM Calculations

Future population and size needs

157. This section projects the future age profile of the population in Barby and Onley at the end of the Neighbourhood Plan period and then estimates the mix of dwelling sizes they may need.

Age

158. The result of applying Local Authority level household projections to the age profile of Barby and Onley households in 2011 is shown in Table 5-8. 2011 has to be used because this data is not yet available for 2021. However, it helpfully excludes the prison population. This makes clear that population growth can be expected to be driven by the oldest households, with the population aged 65+ expected to grow by 108% over the Neighbourhood Plan period. This is contrast to modest or minimal growth in each of the other age cohorts contained in the table.

Table 5-8: Projected age of households, Barby and Onley, 2011 - 2041

Year	24 and under	25 to 34	35 to 54	55 to 64	65 and over
2011	6	27	221	109	158
2041	6	37	249	142	329
% change 2011-2041	3%	36%	13%	31%	108%

Source: AECOM Calculations

159. The demographic change discussed above can be translated into an ideal mix of dwelling sizes. This is achieved through a model that maps the dwelling size preferences by life stage shown earlier (in Figure 5-2) onto the projected age profile for the NA in Table 5-8 immediately above. The resulting 'ideal' future mix of dwelling sizes can then be compared to the current stock of housing to identify how future development might best fill the gaps.
160. This approach has limitations, in that it embeds existing size preferences and does not anticipate changes in what people want from their homes. As such, it is appropriate for the results to be taken as a baseline scenario – what would occur if current trends persisted. It may well be the intention of the community to intervene to produce a different outcome more in line with their interpretation of emerging trends and their place- and community-shaping objectives. Layering these factors on top of the indicative picture provided by this model is appropriate for the purpose of drafting neighbourhood plan policies.
161. The result of this exercise is presented in Table 5-9. It suggests that in order to diversify its housing offer, Barby and Onley should provide a balanced supply of different sizes of homes, but with a focus on 2/3 bed homes. It should be noted that this suggested mix is chiefly a response to projected changes to the population and to differences between local size characteristics and those of the wider district.
162. If the neighbourhood plan is seeking to influence the future size mix of homes in the parish it would be worthwhile to consider these figures alongside the average price of housing presented in the previous chapter. Policies on housing should reflect the lived experience of persons in parish and aim to deliver housing that meets the needs of the population, whilst also being within reach of average earners in terms of pricing.

Table 5-9: Suggested dwelling size mix to 2041, Barby and Onley

Number of bedrooms	Current mix (2011)	Suggested mix (2041)	Balance of new housing to reach suggested mix
1	1.7%	5.8%	13.8%
2	15.4%	22.1%	34.3%
3	44.5%	40.3%	29.2%
4	38.2%	31.8%	22.7%

Source: AECOM Calculations

163. The following points sense-check the results of the model against other evidence and suggest ways to interpret them when thinking about policy options.
- The West Northamptonshire HENA (2021) recommends a similar size mix to that presented in Table 5-9, with a focus on the delivery of 2/3/4 homes. However, it does also recommend a smaller proportion of 1 bed homes.
 - Applying the mix presented in the table above would provide a supply of homes at a range of sizes to meet the needs of different segments of the population.
 - Despite the high proportion of 3 bed homes in parish, it is expected that further delivery of this size of home would provide a balance between the affordability of housing in the parish and the future needs of residents, particularly the needs of newly arising families.
 - The preceding chapter found that affordability is a serious and worsening challenge in the parish. While the provision of Affordable Housing (subsidised tenure products) is one way to combat this, another is to ensure that homes come forward which are of an appropriate size, type and density for local residents' budgets.
 - Variety should be sought within the mid-sized homes that are built in future to attract both newly forming households on lower budgets and older households with equity from their existing larger homes. While the number of bedrooms required may be similar, other preferences and levels of purchasing power could be very different. Facilitating downsizing among older households may also release those larger homes for use by families who need more bedrooms if they existing stock of larger homes is sufficiently affordable.

Tenure

164. The recommendation discussed immediately above applies to all housing in the NA over the Plan period. This is considered proportionate for devising policy at neighbourhood scale. However, in practice different size mixes may be appropriate for market housing and Affordable Housing. While this distinction may not be appropriate to make in Neighbourhood Plan policy, since Local Authorities tend to define the precise mix of Affordable Housing required on applicable sites, it is worth thinking through the factors at play.
165. Generally speaking, the size mix needed within affordable tenures, particularly affordable and social rent, is smaller than the size mix of market housing. This is because there tend to be higher proportions of single people and couples in need of affordable rented housing, and they are likely to be eligible only for 1 or 2 bedroom properties. In contrast, people buying their own homes tend to want more space than they technically 'need', such as spare rooms for guests, home working or other uses. This fact is established in the data on under-occupancy presented earlier in this chapter.

166. There are three key sources of information for thinking through the size needs of different categories. These are:

- The HENA, which indicates that overall housing delivery should focus on the delivery of 2/3 bedroom homes, which should be maintained for Affordable Housing as well. Moreover, it is worth accounting for local plan policy HO8 (details can be found in Appendix B), which provides a further distinction based on the size of new dwellings which may come forward and suggests a greater focus on 1/2 bed affordable homes.
- The waiting list for affordable rented housing, kept by the Local Authority. This provides a more current snapshot of the size needs of applicant households. As this changes over time, individual planning applications can be decided in ways that meet evolving needs. In this case the sharpest demand appears to be for 1/2 bed homes
- Any relevant household survey or consultation work in the NA can also highlight any specific gaps in the market within particular segments of the population. For Barby and Onley a survey was carried out in 2023 where residents expressed demand for smaller homes.

167. To summarise, the overall size mix recommendation presented above applies generally to new housing in the NA. Within this mix, Affordable Housing might require a greater weighting towards smaller sizes while market homes focus on mid-sized homes and some larger options. It is not necessary (and is potentially not appropriate) for Neighbourhood Plans to be prescriptive about the size mix within different tenures, but a range of data sources exist that indicate a direction of travel, which Local Planning Authorities will draw upon when determining applications, and which it is possible for the neighbourhood planners to monitor.

Type

168. Planning policy also tends to be less prescriptive about the mix of dwelling types that are needed than the mix of home sizes. This is because the choice to occupy a terraced rather than a detached home, for example, is primarily a matter of wealth, personal preference, and the amount of outdoor space or other features sought than 'need' in the strict sense. This stands in contrast to the matter of dwelling size, where it can be more clearly established that a household with a certain number of members, closely correlated with age, requires a particular number of bedrooms.

169. The key distinctions when it comes to dwelling type are between flats and houses and, to a lesser extent, bungalows, each of which tend to appeal to occupants with different life circumstances. However, it remains difficult to generalise about this, particularly when drawing on demographic evidence.

170. The benefits of delivering a certain blend of dwelling types are more closely related to affordability, which is clearly established as an issue in Barby and Onley, and which favours more dense options (e.g. terraces and flats). This

imperative to improve affordability is often in conflict with matters of character, which in rural areas tend to favour lower density options that blend in with the existing built environment. This is particularly relevant in the case of flats, a large block of which may not be a welcome proposition in the NA. That said, it is possible to deliver flats in the form of low-rise maisonettes that resemble terraces from street level, which can counter this issue.

171. In summary, there is a balance to be struck between, on the one hand, improving affordability and choice in the market by encouraging flats and terraces, and, on the other hand, preserving the distinctive character and other features that residents like about the NA today. How far the Neighbourhood Plan should guide on this issue, and in what direction, is a policy decision for the Barby and Onley Neighbourhood Plan Review Group and community to consider.

Conclusions- Type and Size

The current housing mix

172. Currently there are 578 dwellings in Barby and Onley, occupied by 564 households. Comparing the 2011 and 2021 Censuses suggests the overall housing stock grew by 47 dwellings in the last decade, which is higher than the 15 new dwellings indicated through the completions data provided by the LPA. It is likely that some of these new dwellings were built but were not occupied around the time of the 2011 Census being completed.
173. Barby and Onley has a housing stock which is significantly biased toward detached and semi-detached dwellings, which make up over 90% of the total. This figure is much higher than the district and national average. The remainder is made up of terraced dwellings a very small number of flats.
174. In terms of size, the NA's housing stock is dominated by homes with more than 3 bedrooms, which make up more than 80% of the overall housing stock. There is a very small proportion of small 1 bed homes. However, the bias toward larger homes appears common across the unitary authority area.

Population characteristics

175. Barby and Onley has a population which is dominated by people between the ages of 25-64, who make up close to 70% of the overall population. However, it is likely that a high number of people aged 25-64 are housed in the prisons, which is influencing the overall spread of the NA's population structure.
176. The population in the NA is ageing, and there has been a slight contraction in the younger age population (aged 0-24).
177. Household projections suggest this ageing will continue over the Neighbourhood Plan period, with a potential increase of 108% of the population aged 65 and over. This is in contrast to slow growth in the other age cohorts.

Future population and size needs

178. This study provides an insight into the likely need for different sizes of homes based on projected demographic change and gaps within the existing housing stock. To accommodate the future population of Barby and Onley and to diversify its housing mix, AECOM's modelling suggests the continued delivery of a range of different dwelling sizes, but with a focus on 2/3 bed homes. It should be noted that this model is a fairly blunt indication of future needs, which does not reflect the preferences or desires of individuals in relation to the size of homes they would like to live in.
179. When considering the future mix of housing in Barby and Onley in terms of size, this model should be considered alongside other factors such as the affordability and access of homes of different types and sizes, and the existing historic character of the area, which may favour certain types of homes. In summary, there are good reasons to depart from the results of this HNA model to allow for more balance than the model suggests. The focus on 2/3 bed homes suggested by the model would satisfy the needs of first-time buyers and newly arising families. However, there may be a desire to increase the supply of larger or smaller homes, if this aligns with the objectives of the community.
180. Equally, it is important to remember that other factors should be considered in determining the dwelling mix that is desirable in the parish or on any particular site. These include the specific characteristics of the nearby stock of housing (such as its condition and design), the role of the NA or site within the wider housing market area (linked to any Local Authority strategies or plans) and site-specific factors.

6. Specialist housing for older people

Introduction

181. It is relatively common for neighbourhood plans in areas with aging populations to include policies relating to specialist housing for older people. This chapter considers in detail the specialist housing needs of older people in Barby and Onley. It focuses on specialist forms of provision but recognises that the majority of older people will live in the mainstream housing stock. The approach is as follows:

- To review the **current provision** of specialist housing in the NA;
- To estimate the **potential demand** for this form of accommodation with reference to the projected growth in the older population and current rates of mobility limitation; and
- To discuss the potential for meeting this need through adaptations to the mainstream stock and other **additional considerations**.

182. Because of the wide variation in the level of support needed, as well as the financial capabilities of those affected, the estimates of need presented here should be viewed with caution – as an idea of the broad scale of potential need rather than an obligatory target that must be met.

183. It is important to note that the need for housing for particular groups of people may well exceed, or be proportionally high in relation to, the total housing need or requirement. This is because the needs of particular groups will often be calculated having consideration to the whole population of an area as opposed to the projected new households which form the baseline for estimating housing need overall.⁹

184. This study covers the need for housing, i.e. buildings that the planning system classifies as Use Class C3 (private dwellings).¹⁰ Residences that fall into Use Class C2 (institutions including prisons, boarding schools and some care homes for older people) are largely beyond the scope of this research. However, it is possible to estimate the likely need for residential and nursing care over the Neighbourhood Plan period.

185. The distinction between care homes for older people that fall into use class C2 and those where accommodation is counted as C3 is blurred. As such, the findings of this chapter may justify the provision of extra-care C3 housing and/or C2 care home units, but it is not possible to state definitively how much of each would be required. C3 specialist accommodation is typically self-contained with its own front door, made available on an individual basis with support provided

⁹ See Paragraph: 017 Reference ID: 2a-017-20190220, at <https://www.gov.uk/guidance/housing-and-economic-development-needs-assessments>)

¹⁰ For a full description of Planning Use Classes, please refer to https://www.planningportal.co.uk/info/200130/common_projects/9/change_of_use

in the home or not at all if the resident does not require it, and offered for sale or rent on the open market.

Definitions

- **Older people:** people over retirement age, ranging from the active newly retired to the very frail elderly. Their housing needs tend to encompass accessible and adaptable general needs housing as well as the full spectrum of retirement and specialised housing offering additional care.
- **Specialist housing for older people:** a wide range of housing types specifically aimed at older people, which may often be restricted to those in certain older age groups. This could include residential institutions, sheltered housing, extra care housing, retirement housing and a range of other potential types of housing which has been designed and built to serve the needs of older people, including often providing care or other additional services.
- **Sheltered Housing¹¹:** self-contained flats or bungalows where all the residents are older people. Schemes on the whole provide independent, self-contained homes, either to rent or buy. Properties in most schemes have features like raised electric sockets, lowered worktops, walk-in showers, and so on, as well as being linked to an emergency alarm service. Some will be designed to accommodate wheelchair users. Managed schemes will also usually have some shared or communal facilities such as a lounge for residents to meet, a laundry, guest flats and gardens.
- **Extra Care Housing:** housing which usually consists of purpose-built or adapted flats or bungalows with a medium to high level of care available if required. Residents are able to live independently with 24-hour access to support services and staff, and meals are often also available. In some cases, these developments are included in retirement communities or villages - the intention is for residents to benefit from varying levels of care as time progresses.
- **Category M4(2):** accessible and adaptable dwellings.
- **Category M4(3):** wheelchair user dwellings.

Specialist housing for older people

186. Currently there are no units of specialist accommodation in Barby and Onley. The nearest facility is in Kilsby and there is a concentration of specialist accommodation in Daventry.
187. The 2021 Census suggests there are currently 197 people aged 75 or over in Barby and Onley. This may include some of the prison population, which cannot be excluded from this data source. A common measure of establishing if the level of provision in an area meets the needs of population is to work out the

¹¹ See <http://www.housingcare.org/jargon-sheltered-housing.aspx>

rate of the provision per 1,000 of the population. However, given there is currently no provision in the NA this is not possible in this case.

Demographic characteristics

188. The starting point for estimating the need for specialist housing for older people is to project how the overall number of older people in Barby and Onley is likely to change in future. This is calculated by extrapolating population projections from the ONS Sub-National Population Projections for West Northamptonshire. The results are set out in Table 6-1. Again, the result may be slightly inflated by a small number of older people in the prison population.
189. A key assumption for the estimate given at the end of this section is that the older people living in the NA currently are already suitably accommodated, either because they occupy the existing stock of specialist accommodation, have made appropriate adaptations to their own homes or do not require support or adaptations. This is unlikely to be completely true, but it is not possible to determine how many such individuals are inadequately housed without evidence from a household survey (which itself may not give a complete picture). As such, the growth in the older population rather than the total at the end of the Plan period is the key output of this calculation.

Table 6-1: Modelled projection of older population in Barby and Onley by end of Plan period

Age group	2021		2041	
	Barby and Onley	West Northamptonshire	Barby and Onley	West Northamptonshire
All ages	2,625	425,725	2,786	451,786
75+	197	32,416	336	55,264
%	7.5%	7.6%	12.1%	12.2%

Source: ONS SNPP 2020, AECOM Calculations

190. The next step is to consider the need for different tenures of dwelling for older people. It is assumed that those currently occupying their own home will wish to do so for as long as practicably possible in future, even where downsizing or moving into specialist accommodation. Equally, those who currently rent, either in the private or social sectors, are projected to need affordable rented specialist accommodation.
191. The 2011 55-75 age bracket is considered the best proxy for the group likely to fall into need for specialist accommodation during the Plan period to 2041. The top row in Table 6-2 outlines the tenure mix among households aged 55-75 at Local Authority level, which indicates that the vast majority of older people own their own homes, with some social renters and very few private renters.
192. The expected growth in the 75+ population in the NA is 139 additional individuals by the end of the plan period. This can be converted into 77 households based on the average number of people per household aged 75+ at Local Authority scale. Multiplying this figure by the percentages of 55-75 year olds occupying each tenure gives a breakdown of which tenures Barby and

Onley households are likely to need in 2041, and is shown in the bottom row of Table 6-3.

Table 6-3: Tenure of households aged 55-75 in [LA Name] (2011) and projected aged 75+ in Barby and Onley (2041)

	All owned	Owned outright	Owned (mortgage) or Shared Ownership	All Rented	Social rented	Private rented	Living rent free
West Northamptonshire (2011 mix)	81.7%	55.6%	26.1%	18.3%	11.1%	6.1%	1.1%
Barby and Onley (2041 projection)	63	43	20	14	9	5	1

Source: Census 2011

193. It is also important to consider rates of disability by tenure. The tendency for people in rented housing to have higher disability levels is well established. It arises partly because people with more limiting disabilities tend to have lower incomes. It also reflects the fact that as people develop support and care needs they may find that the only suitable and affordable option to them is available in the social rented sector. Table E-2 in Appendix E presents this data for Barby and Onley from the 2011 Census.

Future needs for specialist accommodation and adaptations

194. Based on the evidence outlined above, the number of households falling into potential need for specialist accommodation over the Plan period is calculated to be 31.
195. AECOM's modelling, summarised in Table 6-3, is based on the assumption that those whose day-to-day activities are limited a lot may need housing with care (e.g. extra care housing, with significant on-site services, including potentially medical services), while those with their day to day activities limited only a little may simply need adaptations to their existing homes, or alternatively sheltered or retirement living that can provide some degree of oversight or additional services. However, it is important to note that, even those people who have high support or care needs can often be supported to live in their own homes. This is often reflected in policy of local authorities, with explicit aim to reduce the need to commission increasing numbers of care home beds.
196. The model suggests there is an opportunity to provide a majority of the need for specialist housing in the NA through adaptations to the existing housing stock and the provision of sheltered or retirement living. However, there remains a robust demand for housing with care. Moreover, the model suggests there should be a balance of tenure options, with a need for provision of both Affordable and Market specialist accommodation, but with a greater emphasis on market homes.

Table 6-3: AECOM estimate of specialist housing for older people need in Barby and Onley by the end of the Plan period

Type	Affordable	Market	Total
Housing with care	4	9	13
Adaptations, sheltered, or retirement living	4	14	18
Total	9	22	31

Source: Census 2011, AECOM Calculations

197. It is worth comparing these findings with the recommendations of the Housing Learning and Improvement Network (HLIN), one of the simplest and widely used models estimating for the housing needs of older people. Table E-3 in Appendix E reproduces the key assumptions of HLIN's Strategic Housing for Older People (SHOP) toolkit. Applying those assumptions to the growth in the older population of Barby and Onley results in a total of 19 specialist dwellings that might be required to the end of the Plan period. This is set out in Table 6-4.

Table 6-4: HLIN estimate of specialist housing for older people need in Barby and Onley by the end of the Plan period

Type	Affordable	Market	Total
Housing with care	4	6	10
Adaptations, sheltered, or retirement living	8	17	25
Total	13	22	35

Source: Housing LIN, AECOM calculations

Further considerations

198. The above estimates suggest that potential need for specialist accommodation could be in the range of 19-31 units over the Neighbourhood Plan period. However, it may not be possible or appropriate to deliver this scale of new accommodation. It is proportionally high in relation to the overall housing delivery expectation in the NA, and therefore should not necessarily be prioritised to the exclusion of other groups, such as those in need of Affordable Housing. It is also important to repeat that a segment of older people in the prison population may be inflating the results, and will not require specialist accommodation in the parish. These figures should therefore be viewed as the high end of a range.

199. In addition, specialist housing for older people should only be provided in sustainable, accessible locations that offer services and facilities, public transport options, and the necessary workforce of carers and others.

200. Alongside the need for specialist housing to be provided in accessible locations, another important requirement is for cost effectiveness and economies of scale. This can be achieved by serving the specialist older persons housing needs arising from a number of different locations and/or Neighbourhood Areas from a single, centralised point (i.e. what is sometimes referred to as a 'hub-and-spoke' model).
201. It is considered that Barby and Onley's position in the settlement hierarchy makes it a relatively less suitable location for specialist accommodation on the basis of the accessibility criteria and the considerations of cost-effectiveness above. As such, noting that there is no specific requirement or obligation to provide the specialist accommodation need arising from Barby and Onley entirely within the Neighbourhood Area boundaries, it is recommended it could be provided in a 'hub and spoke' model. In the case of Barby and Onley, Daventry is considered to have potential to accommodate the specialist housing need arising from the Neighbourhood Area (i.e. to be the hub in the hub-and-spoke model).
202. It is also important to emphasise that the potential need for specialist housing for older people overlaps with the need for care home bedspaces and the need for adaptations to mainstream housing. These topics are considered in the sections below.

Care homes

203. Residential and nursing care homes are not defined as housing because they do not provide self-contained accommodation where an older person can live independently. Care home accommodation is defined as institutional accommodation rather than housing.
204. However, residents of care homes may be similar in terms of their care and support needs as those living in specialist housing, or even mainstream housing with appropriate care and support delivered in their homes. There may be some scope for older people who would otherwise have been accommodated in care homes to meet their needs within specialist or mainstream housing if sufficient appropriate accommodation can be provided. Nevertheless, there is likely to be continued need for care home accommodation to meet more acute and severe needs, and to offer choice to some older people and their families about how they are cared for and supported.
205. Given the overlap between people who might enter care home accommodation and those who might take up specialist housing or care and support in their own home if available, estimates of the future need for care home accommodation, as with estimates of the need for specialist housing above, are uncertain and depend on both local and national policies, delivery, and the appetite of private developers.
206. AECOM has estimated the likely need for care home accommodation over the plan period, based on the HLIN SHOP toolkit prevalence rates for residential and nursing care homes for older people (aged 75+). This estimate applied the

prevalence rates in the 'More Choice, Greater Voice' 2008 report which informed the development of the HLIN toolkit. This report suggested that 65 residential care beds per 1,000 people aged 75+ was an appropriate rate. Based on this rate, applied to the growth in the older population for consistency with the calculations above, it is estimated that in 2041 there would be a need for 2 care homes beds in the NA. However, it is rarely appropriate for a 2-bed care home to be built, so given the limited scale of need it is likely that this will continue to be met in existing facilities outside the NA.

207. It is important to note that as these estimates relate to care homes (or the population in institutions) rather than independent housing, these figures are in addition to the overall need for housing in the NA. However, as discussed in this section, some of the need for care home beds might be met by independent housing accommodation and vice versa.

The Role of Mainstream Housing

208. The majority of older people live in mainstream housing and will continue to do so all of their lives. Based on the estimated number of older people and current lack of provision for specialist accommodation in Barby and Onley existing stock in Appendix E, most if not all of the NA population aged 75 and over is likely to live in the mainstream housing stock. Given there is currently no provision within the NA, it may be possible that people who were previously residents of the parish have taken up residence in facilities in other nearby towns and villages.
209. It is not possible to be precise about how well older people are accommodated within mainstream housing, in terms of whether their accommodation is suitable to their needs and whether adequate care or support is provided within the home when they need.
210. However, given that there is unlikely to be a large volume of additional specialist supply during the Plan period, another key avenue to addressing those with relevant needs is to discuss the standards of accessibility and adaptability in new development to be met in the Local Plan with West Northamptonshire.
211. It is relatively common for Local Plans to require that all or a majority of new housing meets Category M4(2) standards in response to the demographic shifts being observed nationwide. Government is considering mandating M4(2) on newly erected dwellings¹², although changes to Building Regulations have not yet been made.
212. The current adopted Local Plan (Part 2 – Daventry District) policy HO8 provides explicit encouragement for development to accommodate specific groups such as older people. It specifies that 50% of all new market housing and 40% all new affordable housing should meet national standards for accessibility and adaptability (Category M4(2)). It is unclear whether Neighbourhood Plans can set their own requirements for the application of the national standards of

¹² See [Raising accessibility standards for new homes: summary of consultation responses and government response - GOV.UK \(www.gov.uk\)](https://www.gov.uk/government/consultations/raising-accessibility-standards-for-new-homes)

adaptability and accessibility for new housing and so discussions with the LPA are advised if this is a key priority.

213. The proportion of new housing that might accommodate those using wheelchairs is harder to define at small scales. Typically, at Local Authority scale, this might be set with reference to the proportion of Affordable Housing applicants in the Local Authority area falling into this category or to wider data from surveys and other sources where available.
214. The national average proportion of wheelchair users is either 0.6% of the population using a wheelchair all of the time or 3% of the population using a wheelchair part of the time. A common method for understanding how much of the housing stock should be wheelchair accessible it is applying these percentages to any new housing stock which may come forward in future. However, as Barby and Onley does not currently have an active Housing Requirement Figure (HRF) it is difficult to project forward the need for wheelchair accessible housing needed. However, when the HRF is provided in future, applying the percentage figures above will give the Barby and Onley Neighbourhood Plan Review Group an understanding of the potential need for this housing type.

Conclusions- Specialist Housing for Older People

215. Currently there are 197 people aged 75+ living in Barby and Onley, a figure which has grown from 111 in 2011, and is projected to increase to 336 by the end of the Neighbourhood Plan period (2041).
216. A clear majority of West Northamptonshire's households aged between 55-75 in 2021 (therefore likely to reach the 75+ bracket by 2037) are owner occupiers (82%) and the remainder predominantly rent from a social landlord. This is important because those currently owning may require specialist accommodation for market purchase, being largely ineligible for subsidised housing, while those in private or social rent will need to rely on subsidised rented housing because they are unlikely to have the funds to buy.
217. The growth in the older population, which, rather than the total, is the focus of the estimates of need here, should be converted into households because some older people will be cohabiting in old age. The projected growth in the older population of 139 roughly translates to 77 new households formed of persons aged 75+ over the Neighbourhood Plan period. This may include some growth projected from the prison population, but this is unfortunately not able to be excluded from the calculation using available data.
218. The potential need for specialist housing with some form of additional care for older people can be estimated by bringing together data on population projections, rates of disability, and what tenure of housing the current 55-75 cohort occupy in the NA. This can be sense-checked using a toolkit based on national research and assumptions.

219. These two methods of estimating the future need in Barby and Onley produce a range of 19 to 31 specialist accommodation units that might be required during the Plan period. These estimates are based on the projected growth of the older population, thereby assuming that today's older households are already well accommodated. If this is found not to be the case, it would justify aspiring to exceed the range identified here. However, as noted above, the potential impact of older people in the prison population may have inflated the results, meaning that the real need may in fact be less than stated.
220. This report also estimates a need for 2 care homes beds over the NP period, where there is currently no provision of this kind of accommodation.
221. Note that Neighbourhood Plans typically cannot set the proportion of specialist housing that should be affordable – that usually has to be in line with Local Plan policy for all housing. If the known supply is all in one category, note that any additional provision could fill a different gap in the market. The main unmet need for approximately 22 units of market sheltered housing, this might be satisfied by making sure all new housing is accessible and adaptable for people with lower support needs.

7. Next Steps

Recommendations for next steps

222. This Neighbourhood Plan housing needs assessment aims to provide Barby and Onley Neighbourhood Plan Review Working Group with evidence on a range of housing trends and issues from a range of relevant sources. We recommend that the neighbourhood planners should, as a next step, discuss the contents and conclusions with West Northamptonshire with a view to agreeing and formulating draft housing policies, bearing the following in mind:
- All Neighbourhood Planning Basic Conditions, but in particular Condition E, which is the need for the Neighbourhood Plan to be in general conformity with the strategic policies of the adopted development plan;
 - The views of West Northamptonshire;
 - The views of local residents;
 - The views of other relevant local stakeholders, including housing developers and estate agents; and
 - The numerous supply-side considerations, including local environmental constraints, the location and characteristics of suitable land, and any capacity work carried out by West Northamptonshire.
223. This assessment has been provided in good faith by AECOM consultants on the basis of housing data, national guidance and other relevant and available information current at the time of writing.
224. Bearing this in mind, it is recommended that the Barby and Onley Neighbourhood Plan Review Working Group should monitor carefully strategies and documents with an impact on housing policy produced by the Government, West Northamptonshire or any other relevant party and review the Neighbourhood Plan accordingly to ensure that general conformity is maintained.
225. At the same time, monitoring on-going demographic or other trends over the Neighbourhood Plan period will help ensure the continued relevance and credibility of its policies.

Appendix A : Assessment geography

226. For Census purposes, the whole of England is divided into statistical units of similar population size called Output Areas (OAs) and their larger equivalents. OAs are the smallest units. They make up Lower Layer Super Output Areas (LSOAs), which in turn make up Middle Layer Super Output Areas (MSOAs). The NA equates to the following combination of OAs:

- E00137291
- E00137292
- E00137294
- E00169203
- E00169204

227. As noted in the analysis of affordability in the main body of the report, household income data for small areas is only provided down to the scale of MSOAs. The relevant MSA, in which the NA is located and which will need to serve as a proxy for it, is:

- E02005621 (This MSA extends out to the south and east of the NA boundary).

Appendix B : Local Plan context

Policies in the adopted local plan

228. Table B-1 below summarises adopted Local Plan policies that are relevant to housing need and delivery in Barby and Onley, Table B-2 contains similar policies relevant to the Daventry district (Part 2) Local Plan.

Table B-1: Summary of relevant adopted policies in the West Northamptonshire Joint Core Strategy (Part One) (2011-2029)

Policy	Provisions
Policy S3 – Across West Northamptonshire provision should be made for Scale and the delivery of an additional 42,620 new dwellings between 2011 Distribution of and 2029. Housing Development	Daventry district should accommodate approximately 12,730 new dwellings.
Policy H2	Within the Daventry district 25% of all new housing that comes forward within Daventry Town should be provided as Affordable Housing. For rural areas (including Barby and Onley) the proportion is increased to 40%. Both thresholds apply for 5 or more dwellings.

Source: West Northamptonshire Joint Core Strategy (Part One)

Table 2-2: Summary of relevant emerging policies in the Settlements and Countryside Local Plan for Daventry District (Part 2) (2011-2029)

Policy	Provisions
Policies RA2 & RA3	Barby is designated as a 'Secondary Service Village' (RA2), which have a limited range of services but has scope to meet some local needs for housing, employment and service provision. Onley is designated as an 'Other Village' (RA3), which are reliant on larger service centres. The scope for development in these areas is limited to windfall infill development.
HO8	The following size mix should be sought for market housing developments of more than 10 units: <ul style="list-style-type: none"> • 3% - 1/2 bed apartments; • 14% - 2 Bed dwellings; • 56% - 3 Bed dwellings;

Policy	Provisions
	<ul style="list-style-type: none">• 22% - 4 Bed dwellings:• 6% - 5 bed dwellings. <p>The following size mix should be sought for affordable housing developments of more than 10 units:</p> <ul style="list-style-type: none">• 22% - 1/2 bed apartments;• 47% - 2 Bed dwellings;• 24% - 3 Bed dwellings;• 6% - 4 Bed dwellings:• 1% - 5 bed dwellings.

Source: Settlements and Countryside Local Plan for Daventry District (Part 2)

Appendix C : Affordability calculations

229. This section outlines how the affordability thresholds discussed in the Affordability and Affordable Housing have been calculated.

C.1 Market housing

230. Market housing is not subsidised and tends to be primarily accessible to people on higher incomes.

i) Market sales

231. The starting point for calculating the affordability of a dwelling for sale from the perspective of a specific household is the loan to income ratio which most mortgage companies are prepared to agree. This ratio is conservatively estimated to be 3.5. In practice this can be highly variable. Multipliers up to 4.5 or even above 5 times income increasingly available, although the actual average in practice tends to be lower, particularly where applicants are dual earning. The Financial Conduct Authority uses 3.5 or more as its standard assumption for single applicants and 2.75 or more for dual applicants.

232. To produce a more accurate assessment of affordability, the savings required for a deposit should be taken into account in addition to the costs of servicing a mortgage. However, unlike for incomes, data is not available for the savings available to households in Barby and Onley, and the precise deposit a mortgage provider will require of any buyer will be determined by their individual circumstances and the state of the mortgage market. An assumption is therefore made that a 10% purchase deposit is required and is available to the prospective buyer. In reality it is possible that the cost of the deposit is a greater barrier to home ownership than the mortgage costs.

233. The calculation for the purchase threshold for market housing is as follows:

- Value of a median NA house price (2022) = £350,000;
- Purchase deposit at 10% of value = £35,000;
- Value of dwelling for mortgage purposes = £315,000;
- Divided by loan to income ratio of 3.5 = purchase threshold of £90,000.

234. The purchase threshold for an entry-level dwelling is a better representation of affordability to those with lower incomes or savings, such as first-time buyers. To determine this threshold, the same calculation is repeated but with reference to the lower quartile rather than the median house price. The lower quartile average in 2022 was £281,375, and the purchase threshold is therefore £72,350.

235. It is also worth assessing the purchase threshold for new build homes, since this most closely represents the cost of the new housing that will come forward in future. Land Registry records 0 sales of new build properties in the NA in

2022. There were too few recent sales in the NA specifically to determine an accurate average for the cost of new build housing in Barby and Onley. It is, however, important to understand the likely cost of new housing because new housing is where the Neighbourhood Plan has most influence, and is the appropriate benchmark for understanding the costs of affordable home ownership tenures (considered below).

236. Therefore an estimate has been calculated by determining the uplift between all house prices in 2022 across West Northamptonshire and new build house prices in 2022 in the same area. This percentage uplift (or 'new build premium') is then applied to the 2022 lower quartile house price in the NA to give an estimated NA new build entry-level house price of £327,600 and purchase threshold of £84,250.
237. In order to provide a comparison with the wider local authority area, it is helpful to also look at the cost of new build housing across West Northamptonshire in 2022. The median cost of new build dwellings in West Northamptonshire was £325,995, with a purchase threshold of £83,800.

ii) Private Rented Sector (PRS)

238. It is assumed here that rented housing is affordable if the annual rent does not exceed 30% of the household's gross annual income. The percentage of income to be spent on rent before the property is considered affordable varies considerably for individuals, and it is increasingly common for households to dedicate a larger proportion of their earnings to rent. When considering affordability it is considered good practice to be conservative, and the 30% benchmark is used as ONS's current standard assumption.
239. This is an important assumption because it is possible that a household will be able to afford tenures that are deemed not affordable in this report if they are willing or able to dedicate a higher proportion of their income to housing costs. It is becoming increasingly necessary for households to do so. However, for the purpose of planning it is considered more appropriate to use this conservative lower benchmark for affordability on the understanding that additional households may be willing or able to access housing this way than to use a higher benchmark which assumes that all households can afford to do so when their individual circumstances may well prevent it.
240. The property website [Home.co.uk](https://www.home.co.uk) shows rental values for property in the Neighbourhood Area. The best available data is derived from properties available for rent within the CV23 postcode area, which covers a larger area than the Plan area itself but can be used as a reasonable proxy for it. Moreover, because it forms a larger geography with a greater number of rental properties offered, the larger sample size is likely to generate more robust findings.
241. According to [home.co.uk](https://www.home.co.uk), there were 13 properties for rent at the time of search in June, 2023, with an average monthly rent of £950. There were 4 one/two-bed properties listed, with an average price of £715 per calendar month.

242. The calculation for the private rent income threshold for entry-level (1/2 bedroom) dwellings is as follows:

- Annual rent = £715 x 12 = £8,580;
- Multiplied by 3.33 (so that no more than 30% of income is spent on rent) = income threshold of £28,600.

243. The calculation is repeated for the overall average to give an income threshold of £38,000.

C.2 Affordable Housing

244. There are a range of tenures that constitute the definition of Affordable Housing within the NPPF 2021: social rent and affordable rent, discounted market sales housing, and other affordable routes to home ownership. More recently, a new product called First Homes has been introduced in 2021. Each of the affordable housing tenures are considered below.

i) Social rent

245. Rents in socially rented properties reflect a formula based on property values and average earnings in each area, resulting in substantial discounts to market rents. As such, this tenure is suitable for the needs of those on the lowest incomes and is subject to strict eligibility criteria.

246. To determine social rent levels, data and statistical return from Homes England is used. This data is only available at Local Authority scale so must act as a proxy for Barby Onley. This data provides information about rents and the size and type of stock owned and managed by private registered providers and is presented for West Northamptonshire in Table C-1.

247. To determine the income needed, it is assumed that no more than 30% of income should be spent on rent. This is an assumption only for what might generally make housing affordable or unaffordable – it is unrelated to the eligibility criteria of Affordable Housing policy at Local Authority level. The overall average across all property sizes is taken forward as the income threshold for social rent.

Table C-1: Social rent levels (£)

Size	1 bed	2 beds	3 beds	4 beds	All
Average social rent per week	£83.00	£96.00	£100.00	£109.00	£97.00
Annual average	£4,316	£4,992	£5,200	£5,668	£5,044
Income needed	£14,372	£16,623	£17,316	£18,874	£16,797

Source: Homes England, AECOM Calculations

ii) Affordable rent

248. Affordable rent is controlled at no more than 80% of the local market rent. However, registered providers who own and manage affordable rented housing may also apply a cap to the rent to ensure that it is affordable to those on housing benefit (where under Universal Credit the total received in all benefits to working age households is £20,000).
249. Even an 80% discount on the market rent may not be sufficient to ensure that households can afford this tenure, particularly when they are dependent on benefits. Registered Providers in some areas have applied caps to larger properties where the higher rents would make them unaffordable to families under Universal Credit. This may mean that the rents are actually 50-60% of market levels rather than 80%.
250. Data on the most realistic local affordable rent costs is obtained from the same source as social rent levels for West Northamptonshire. Again it is assumed that no more than 30% of income should be spent on rent, and the overall average is taken forward.
251. Comparing this result with the average 2 bedroom annual private rent above indicates that affordable rents in the NA are actually closer to 70% of market rates than the maximum of 80%, a feature that is necessary to make them achievable to those in need.

Table C-2: Affordable rent levels (£)

Size	1 bed	2 beds	3 beds	4 beds	All
Average affordable rent per week	£95.00	£120.00	£130.00	£156.00	£120.00
Annual average	£4,940	£6,240	£6,760	£8,112	£6,240
Income needed	£16,450	£20,779	£22,511	£27,013	£20,779

Source: Homes England, AECOM Calculations

iii) Affordable home ownership

252. Affordable home ownership tenures include products for sale and rent provided at a cost above social rent, but below market levels. The three most widely available are discounted market housing (a subset of which is the new First Homes product), shared ownership, and Rent to Buy. These are considered in turn below.
253. In paragraph 65 of the NPPF 2021, the Government introduces a recommendation that “where major development involving the provision of housing is proposed, planning policies and decisions should expect at least 10% of the total number of homes to be available for affordable home ownership.” The recently issued Ministerial Statement and updates to PPG state that 25% of all Affordable Housing should be First Homes – the Government’s new flagship discounted market sale product. When the NPPF is next updated, it is expected that the 10% affordable home ownership

requirement referenced above may be replaced by the First Homes requirement.

First Homes

254. Because First Homes are a new tenure product, it is worth explaining some of their key features:

- First Homes should be available to buy with a minimum discount of 30% below their full market value (i.e. the value of an equivalent new home);
- The discount level can be set higher than 30% – at 40% or 50% – where this can be suitably evidenced. The setting and justifying of discount levels can happen at neighbourhood as well as local authority scale;
- After the discount is applied the initial sale price must not exceed £250,000 (or £420,000 in Greater London), and lower caps can be set locally;
- Purchasers must be first-time buyers with an income less than £80,000 (or £90,000 in Greater London), and First Homes can be prioritised for local people and/or key workers;
- They will be subject to legal restrictions ensuring the discount is retained for future occupants, and renting out or sub-letting will not normally be permitted;
- In addition to setting the discount level, local authorities and neighbourhood planning groups can apply additional criteria, such as a lower income cap, local connection test or prioritisation for key workers through adopted plans, emerging policy or Supplementary Planning Documents.
- 25% of all homes delivered through section 106 developer contributions on sites enabled through the planning process should be sold as First Homes. In simpler terms, 25% of all subsidised Affordable Housing on mainstream housing developments should be First Homes. This is likely to mean that First Homes will take the place of shared ownership housing in many circumstances, and in some cases may also displace social or affordable rented homes.

255. The starting point for considering whether First Homes are affordable is the estimated cost of new build entry-level housing in the NA noted above of £327,600.

256. For the minimum discount of 30% the purchase threshold can be calculated as follows:

- Value of a new home (estimated NA new build entry-level) = £327,600;
- Discounted by 30% = £229,300;
- Purchase deposit at 10% of value = £22,930;
- Value of dwelling for mortgage purposes = £206,385;
- Divided by loan to income ratio of 3.5 = purchase threshold of £59,000.

257. The income thresholds analysis in the Affordability and Affordable Housing chapter also compares local incomes with the costs of a 40% and 50% discounted First Home. This would require an income threshold of £50,500 and £42,100 respectively.
258. All of the income thresholds calculated here for First Homes are below the cap of £80,000 above which households are not eligible.
259. Note that discounted market sale homes may be unviable to develop if the discounted price is close to (or below) build costs. Build costs vary across the country but as an illustration, the build cost for a 2 bedroom home (assuming 70 sq. m and a build cost of £1,750 per sq. m¹³) would be around £122,500. This cost excludes any land value or developer profit. This would not appear to be an issue in Barby and Onley.
260. Table C-3 shows the discount required for First Homes to be affordable to the four income groups. The cost of a typical First Home is calculated using an estimate for new build entry-level housing in the NA. However, it is worth thinking about First Homes in relation to the cost of new build prices in the wider area, as well as median and entry-level existing prices locally to get a more complete picture. The discount levels required for these alternative benchmarks are given below.

Table C-3: Discount on sale price required for households to afford First Homes

House price benchmark	Mean household income	Single LQ earner	Dual LQ earning household
NA median house price	46%	78%	57%
NA estimated new build entry-level house price	42%	77%	54%
NA entry-level house price	33%	73%	46%
LA median new build house price	42%	77%	53%

Source: Land Registry PPD; ONS MSOA total household income

Shared ownership

261. Shared ownership involves the purchaser buying an initial share in a property, typically of between 25% and 75% (but now set at a minimum of 10%), and paying rent on the share retained by the provider. Shared ownership is flexible in two respects, in the share which can be purchased and in the rental payable on the share retained by the provider. Both of these are variable. The share owned by the occupant can be increased over time through a process known as 'staircasing'.
262. In exceptional circumstances (for example, as a result of financial difficulties, and where the alternative is repossession), and at the discretion of the provider, shared owners may staircase down, thereby reducing the share they own. Shared equity is available to first-time buyers, people who have owned a home

¹³ It is estimated that in 2022, build costs for a house are between £1,750 and £3,000 per square metre - <https://urbanistarchitecture.co.uk/cost-to-build-a-house-uk/>

previously and council and housing association tenants with a good credit rating whose annual household income does not exceed £80,000.

263. To determine the affordability of shared ownership, calculations are again based on the estimated costs of new build housing as discussed above. The deposit available to the prospective purchaser is assumed to be 10% of the value of the dwelling, and the standard loan to income ratio of 3.5 is used to calculate the income required to obtain a mortgage. The rental component is estimated at 2.5% of the value of the remaining (unsold) portion of the price. The income required to cover the rental component of the dwelling is based on the assumption that a household spends no more than 30% of the income on rent (as for the income threshold for the private rental sector).
264. The affordability threshold for a 25% equity share is calculated as follows:
- A 25% equity share of £327,600 is £81,900;
 - A 10% deposit of £8,190 is deducted, leaving a mortgage value of £73,700;
 - This is divided by the loan to value ratio of 3.5 to give a purchase threshold of £21,060;
 - Rent is charged on the remaining 75% shared ownership equity, i.e. the unsold value of £245,679;
 - The estimated annual rent at 2.5% of the unsold value is £6,142;
 - This requires an income of £20,475 (annual rent multiplied by 3.33 so that no more than 30% of income is spent on rent).
 - The total income required is £41,535 (£21,060 plus £20,475).
265. The same calculation is repeated for equity shares of 10% and 50% producing affordability thresholds of £33,000 and £56,000 respectively.

Rent to Buy

266. Rent to Buy is a relatively new and less common tenure, which through subsidy allows the occupant to save a portion of their rent, which is intended to be used to build up a deposit to eventually purchase the home. It is therefore estimated to cost the same as private rents – the difference being that the occupant builds up savings with a portion of the rent.

Help to Buy (Equity Loan)

267. The Help to Buy Equity Loan is not an affordable housing tenure but allows households to afford market housing through a loan provided by the government. With a Help to Buy Equity Loan the government lends up to 20% (40% in London) of the cost of a newly built home. The household must pay a deposit of 5% or more and arrange a mortgage of 25% or more to make up the rest. Buyers are not charged interest on the 20% loan for the first five years of owning the home.
268. It is important to note that this product widens access to market housing but does not provide an affordable home in perpetuity.

Appendix D : Affordable Housing need and policy

Affordable Housing estimates

269. For Affordable Housing providing a route to home ownership, Table D-2 estimates the potential demand in Barby and Onley. This model aims to estimate the number of households that might wish to own their own home but cannot afford to. The model is consistent with methods used at Local Authority scale in taking as its starting point households currently living in or expected to enter the private rented sector who are not on housing benefit.
270. There may be other barriers to these households accessing home ownership on the open market, including being unable to save for a deposit, or being unable to afford a home of the right type/size or in the right location. The model also discounts 25% of households potentially in need, assuming a proportion will be renting out of choice. This assumption is based on consistent results for surveys and polls at the national level which demonstrate that most households (typically 80% or more) aspire to home ownership.¹⁴ No robust indicator exists for this area or a wider scale to suggest aspirations may be higher or lower in the NA.

¹⁴ <http://www.ipsos-mori-generations.com/housing.html>

Table D-2: Estimate of the potential demand for affordable housing for sale in Barby and Onley

Stage and Step in Calculation	Total	Description
STAGE 1: CURRENT NEED		
1.1 Current number of renters in NA	41.0	Census 2021 private rented occupancy.
1.2 Percentage renters on housing benefit in LA	27.9%	% of renters in 2018 on housing benefit.
1.3 Number of renters on housing benefits in the NA	11.4	Step 1.1 x Step 1.2.
1.4 Current need (households)	22.2	Current renters minus those on housing benefit and minus 25% assumed to rent by choice. ¹⁵
1.5 Per annum	1.1	Step 1.4 divided by plan period.
STAGE 2: NEWLY ARISING NEED		
2.1 New household formation	127.7	LA household projections for plan period (2018 based) pro rated to NA.
2.2 % of households unable to buy but able to rent	3.9%	(Step 1.4 + Step 3.1) divided by number of households in NA.
2.3 Total newly arising need	5.0	Step 2.1 x Step 2.2.
2.4 Total newly arising need per annum	0.4	Step 2.3 divided by plan period.
STAGE 3: SUPPLY OF AFFORDABLE HOUSING		
3.1 Supply of affordable housing	3.0	Number of shared ownership homes in the NA (Census 2021).
3.2 Supply - intermediate resales	0.2	Step 3.1 x 5% (assumed rate of re-sale).
NET SHORTFALL PER ANNUM		
Overall shortfall per annum	1.3	(Step 1.5 + Step 2.4) - Step 3.2.
Overall shortfall over the plan period	26.8	(Step 1.4 + Step 2.3) - Step 3.2 * number of years to end of plan period

Source: AECOM model, using Census 2011, English Housing Survey 2018, DLUHC 2018 based household projections and net additions to affordable housing stock. 2018 is the latest reliable data for some datasets so is used throughout for consistency.

271. There is no policy or legal obligation on the part either of the Local Authority or Neighbourhood Plan to meet affordable housing needs in full, though there are tools available to the Steering Group that can help ensure that it is met to a greater extent if resources permit (e.g. the ability to allocate sites for affordable housing).

¹⁵ The assumption of approximately 25% preferring to rent and 75% preferring to buy is AECOM's judgement, based on national level polls which consistently reveal that most households who prefer home ownership eg <http://www.ipsos-mori-generations.com/housing.html> and informed by our experience across numerous neighbourhood level HNAs. The assumption is based on the fact that some households choose to rent at certain stages in their life (e.g. when young, when needing flexibility in employment market, or when new migrants move into an area). While most households prefer the added security and independence of owning their own home, private renting is nevertheless a tenure of choice at a certain points in many households' journey through the housing market. The actual percentage of preference will differ between areas, being higher in large metropolitan areas with younger households and more new migrants, but lower in other areas. 25% is used as a reasonable proxy and for consistency across HNAs and similar assumptions are used in some larger scale assessments such as LHNAs and SHMAs. If the neighbourhood planning group feel this is not an appropriate assumption in their particular locality they could use the results of a local residents survey to refine or confirm this calculation.

272. It is also important to remember that even after the Neighbourhood Plan is adopted, the assessment of need for Affordable Housing, the allocation of affordable rented housing to those in need, and the management of the housing waiting list all remain the responsibility of the Local Authority rather than the neighbourhood planning group.

Affordable housing policy

273. The following table reviews the relevant factors in developing a policy on the Affordable Housing tenure mix, which inform the recommendation given in the main body of the report.

Table D-3: Wider considerations in developing Affordable Housing mix policy

Consideration	Local Evidence
<p>A. Evidence of need for Affordable Housing:</p> <p>The need for affordable rent and affordable home ownership is not directly equivalent: the former expresses the identified need of a group with acute needs and no alternative options; the latter expresses potential demand from a group who are generally adequately housed in rented accommodation and may not be able to afford the deposit to transition to ownership.</p>	<p>This HNA suggests that the NA requires around 6 units of affordable rented housing (2 if the estimated prison population is discounted) and 1 units of affordable home ownership per annum over the Plan period. Both forms of Affordable Housing appear to be valuable in meeting the needs of people on various incomes.</p> <p>The relationship between these figures suggests that there is a more robust need for social/affordable rented homes in the NA but both tenure categories would be beneficial to provide.</p>
<p>B. Can Affordable Housing needs be met in full?</p> <p>How far the more urgently needed affordable rented housing should be prioritised in the tenure mix depends on the quantity of overall housing delivery expected.</p>	<p>Barby and Onley does not currently have an active HRF, it is difficult to understand how much Affordable Housing might be delivered of the Plan period.</p> <p>Given the rate of development in the NA over the last decade it is not expected that affordable housing delivery would be sufficient to meet the need identified in this HNA, if this were to continue into the future.</p>
<p>C. Government policy (eg NPPF) requirements:</p> <p>Current NPPF policy requires 10% of all homes to be delivered for affordable home ownership. There can be exceptions to this</p>	<p>For 10% of all housing to be affordable ownership in Barby and Onley, where 40% of all housing should be affordable, 25% of Affordable Housing should be for affordable ownership. As there is currently no active tenure mix policy, it is unknown whether this</p>

requirement if it would prevent the delivery of other forms of Affordable Housing.	complies with the guideline tenure split sought in the Local Plan.
D. Local Plan policy:	The adopted Local Plan does not currently have a tenure mix policy
<p>E. First Homes policy:</p> <p>The Government recently concluded a consultation on the introduction of First Homes (to provide at least 30% discount on new build home prices). The proposals have now been enacted through a ministerial statement. A minimum of 25% of all Affordable Housing secured through developer contributions are now required to be First Homes.</p> <p>After the 25% First Homes requirement has been met, the remaining 75% of Affordable Housing units should as a first priority protect the provision for social rent set out in the Local Plan. The remaining units should then be allocated to other tenure products in the relative proportions set out in the Local Plan.</p> <p>AECOM is aware that some Local Planning Authorities are considering 'top slicing' their affordable housing quota to provide 25% First Homes and then allocating the remaining proportion according to their existing policy tenure split. Some LPAs are considering this approach because of the existing business models of registered providers which have relied on shared ownership to cross subsidise affordable rented housing and uncertainty over whether First Homes could replace this model.</p>	<p>This new minimum requirement may have the effect of displacing other products in any established tenure mix, and will reduce the amount of social or affordable rent if this was proposed to be more than 75% of Affordable Housing.</p> <p>Including the minimum requirement for First Homes would not prejudice the delivery of First Homes, but would have a displacing effect on other affordable home ownership products such as shared ownership.</p>
F. Viability:	HNAs cannot take into consideration the factors which affect viability in the neighbourhood area or at the site-specific level. Viability issues are recognised in the Local Plan and it is acknowledged that this may affect the provision of affordable

	housing, the mix of tenures provided and the discounts that can be sought on First Homes properties.
<p>G. Funding:</p> <p>The availability of funding to support the delivery of different forms of Affordable Housing may also influence what it is appropriate to provide at a particular point in time or on any one site.</p>	<p>The Barby and Onley Neighbourhood Plan Review Group may wish to keep this in mind so that it can take up any opportunities to secure funding if they become available.</p>
<p>H. Existing tenure mix in Barby and Onley:</p> <p>The current stock of homes in an area, in terms of balance between ownership, rented and affordable provision may be a consideration in the mix of tenures provided on new development sites.</p>	<p>The present tenure mix in the NA is heavily dominated by home ownership, with a small proportion of both shared ownership and socially rented homes.</p> <p>This mix would support increased delivery of both socially rented and affordable home ownership dwellings.</p>
<p>I. Views of registered providers:</p>	<p>It is not within the scope of this HNA to investigate whether it would be viable for housing associations (registered providers) to deliver and manage affordable rented homes in the NA. The funding arrangements available to housing associations will determine rent levels.</p>
<p>J. Wider policy objectives:</p>	<p>The Barby and Onley Neighbourhood Plan Review Group may wish to take account of broader policy objectives for Barby and Onley and/or the wider district. These could include, but are not restricted to, policies to attract younger households, families or working age people to the NA. These wider considerations may influence the mix of Affordable Housing provided.</p>

Appendix E : Specialist housing for older people

Background data tables

Table E-2: Tenure and mobility limitations of those aged 65+ in Barby and Onley, 2011 (65+ is the closest proxy for 75+ in this data)

Tenure	Day-to-day activities limited a lot		Day-to-day activities limited a little		Day-to-day activities not limited	
All categories	37	14.7%	56	22.3%	158	62.9%
<i>Owned Total</i>	33	13.9%	52	21.8%	153	64.3%
Owned outright	26	12.3%	48	22.6%	138	65.1%
Owned (mortgage) or shared ownership	7	26.9%	4	15.4%	15	57.7%
<i>Rented Total</i>	4	30.8%	4	30.8%	5	38.5%
Social rented	2	25.0%	2	25.0%	4	50.0%
Private rented or living rent free	2	40.0%	2	40.0%	1	20.0%

Source: DC3408EW Health status

HLIN calculations

Table E-3: Recommended provision of specialist housing for older people from the HLIN SHOP toolkit

FORM OF PROVISION	ESTIMATE OF DEMAND PER THOUSAND OF THE RELEVANT 75+ POPULATION
Conventional sheltered housing to rent	60
Leasehold sheltered housing	120
Enhanced sheltered housing (divided 50:50 between that for rent and that for sale) ³⁶	20
Extra care housing for rent	15
Extra care housing for sale	30
Housing based provision for dementia	6

Source: Housing LIN SHOP Toolkit

274. As Table 6-4 in the main report shows, Barby and Onley is forecast to see an increase of 139 individuals aged 75+ by the end of the Plan period. According to the HLIN tool, this translates into need as follows:

- Conventional sheltered housing to rent = $60 \times .077 = 8$
- Leasehold sheltered housing = $120 \times .077 = 17$
- Enhanced sheltered housing (divided 50:50 between that for rent and that for sale) = $20 \times .077 = 2.8$
- Extra care housing for rent = $15 \times .077 = 2.1$
- Extra care housing for sale = $30 \times .077 = 4.2$
- Housing based provision for dementia = $6 \times .077 = 0.8$

Appendix F : Housing Needs Assessment Glossary

Adoption

This refers to the final confirmation of a local plan by a local planning authority.

Affordability

The terms 'affordability' and 'affordable housing' have different meanings. 'Affordability' is a measure of whether housing may be afforded by certain groups of households. 'Affordable housing' refers to particular products outside the main housing market.

Affordability Ratio

Assessing affordability involves comparing housing costs against the ability to pay. The ratio between lower quartile house prices and the lower quartile income or earnings can be used to assess the relative affordability of housing. The Ministry for Housing, Community and Local Governments publishes quarterly the ratio of lower quartile house price to lower quartile earnings by local authority (LQAR) as well as median house price to median earnings by local authority (MAR) e.g. income = £25,000, house price = £200,000. House price: income ratio = $\frac{£200,000}{£25,000} = 8$, (the house price is 8 times income).

Affordable Housing (NPPF Definition)

Housing for sale or rent, for those whose needs are not met by the market (including housing that provides a subsidised route to home ownership and/or is for essential local workers); and which complies with one or more of the following definitions:

a) Affordable housing for rent: meets all of the following conditions: (a) the rent is set in accordance with the Government's rent policy for Social Rent or Affordable Rent, or is at least 20% below local market rents (including service charges where applicable); (b) the landlord is a registered provider, except where it is included as part of a Build to Rent scheme (in which case the landlord need not be a registered provider); and (c) it includes provisions to remain at an affordable price for future eligible households, or for the subsidy to be recycled for alternative affordable housing provision. For Build to Rent schemes affordable housing for rent is expected to be the normal form of affordable housing provision (and, in this context, is known as Affordable Private Rent).

b) Discounted market sales housing: is that sold at a discount of at least 20% below local market value. Eligibility is determined with regard to local incomes and local house prices. Provisions should be in place to ensure housing remains at a discount for future eligible households.

c) Other affordable routes to home ownership: is housing provided for sale that provides a route to ownership for those who could not achieve home ownership through the market. It includes shared ownership, relevant equity loans, other low-cost homes for sale (at a price equivalent to at least 20% below local market value) and

Rent to Buy (which includes a period of intermediate rent). Where public grant funding is provided, there should be provisions for the homes to remain at an affordable price for future eligible households, or for any receipts to be recycled for alternative affordable housing provision, or refunded to Government or the relevant authority specified in the funding agreement.

Affordable rented housing

Rented housing let by registered providers of social housing to households who are eligible for social rented housing. Affordable Rent is not subject to the national rent regime but is subject to other rent controls that require a rent of no more than 80% of the local market rent (including service charges, where applicable). The national rent regime is the regime under which the social rents of tenants of social housing are set, with particular reference to the Guide to Social Rent Reforms (March 2001) and the Rent Influencing Regime Guidance (October 2001). Local market rents are calculated using the Royal Institution for Chartered Surveyors (RICS) approved valuation methods¹⁶.

Age-Restricted General Market Housing

A type of housing which is generally for people aged 55 and over and active older people. It may include some shared amenities such as communal gardens but does not include support or care services.

Annual Monitoring Report

A report submitted to the Government by local planning authorities assessing progress with and the effectiveness of a Local Development Framework.

Basic Conditions

The Basic Conditions are the legal tests that are considered at the examination stage of neighbourhood development plans. They need to be met before a plan can progress to referendum.

Backlog need

The backlog need constitutes those households who are eligible for Affordable Housing, on account of homelessness, over-crowding, concealment or affordability, but who are yet to be offered a home suited to their needs.

Bedroom Standard¹⁷

The bedroom standard is a measure of occupancy (whether a property is overcrowded or under-occupied, based on the number of bedrooms in a property and the type of household in residence). The Census overcrowding data is based on occupancy rating (overcrowding by number of rooms not including bathrooms and hallways). This tends to produce higher levels of overcrowding/ under occupation. A detailed definition of the standard is given in the Glossary of the EHS Household Report.

¹⁶ The Tenant Services Authority has issued an explanatory note on these methods at <http://www.communities.gov.uk/documents/planningandbuilding/pdf/1918430.pdf>

¹⁷ See <https://www.gov.uk/government/statistics/english-housing-survey-2011-to-2012-household-report>

Co-living

Co-living denotes people who do not have family ties sharing either a self-contained dwelling (i.e., a 'house share') or new development akin to student housing in which people have a bedroom and bathroom to themselves, but share living and kitchen space with others. In co-living schemes each individual represents a separate 'household'.

Community Led Housing/Community Land Trusts

Housing development, provision and management that is led by the community is very often driven by a need to secure affordable housing for local people in the belief that housing that comes through the planning system may be neither the right tenure or price-point to be attractive or affordable to local people. The principal forms of community-led models include cooperatives, co-housing communities, self-help housing, community self-build housing, collective custom-build housing, and community land trusts. By bringing forward development which is owned by the community, the community is able to set rents and/or mortgage payments at a rate that it feels is appropriate. The Government has a range of support programmes for people interested in bringing forward community led housing.

Community Right to Build Order¹⁸

A community right to build order is a special kind of neighbourhood development order, granting planning permission for small community development schemes, such as housing or new community facilities. Local community organisations that meet certain requirements or parish/town councils are able to prepare community right to build orders.

Concealed Families (Census definition)¹⁹

The 2011 Census defined a concealed family as one with young adults living with a partner and/or child/children in the same household as their parents, older couples living with an adult child and their family or unrelated families sharing a household. A single person cannot be a concealed family; therefore one older parent living with their adult child and family or an adult child returning to the parental home is not a concealed family; the latter are reported in an ONS analysis on increasing numbers of young adults living with parents.

Equity Loans/Shared Equity

An equity loan which acts as a second charge on a property. For example, a household buys a £200,000 property with a 10% equity loan (£20,000). They pay a small amount for the loan and when the property is sold e.g. for £250,000 the lender receives 10% of the sale cost (£25,000). Some equity loans were available for the purchase of existing stock. The current scheme is to assist people to buy new build.

¹⁸ See <https://www.gov.uk/guidance/national-planning-policy-framework/annex-2-glossary>

¹⁹ See http://webarchive.nationalarchives.gov.uk/20160107160832/http://www.ons.gov.uk/ons/dcp171776_350282.pdf

Extra Care Housing or Housing-With-Care

Housing which usually consists of purpose-built or adapted flats or bungalows with a medium to high level of care available if required, through an onsite care agency registered through the Care Quality Commission (CQC). Residents are able to live independently with 24 hour access to support services and staff, and meals are also available. There are often extensive communal areas, such as space to socialise or a wellbeing centre. In some cases, these developments are included in retirement communities or villages - the intention is for residents to benefit from varying levels of care as time progresses.

Fair Share

'Fair share' is an approach to determining housing need within a given geographical area based on a proportional split according to the size of the area, the number of homes in it, or its population.

First Homes

First Homes is another form of discounted market housing which will provide a discount of at least 30% on the price of new homes, introduced in 2021. These homes are available to first time buyers as a priority but other households will be eligible depending on agreed criteria. New developments will be required to provide 25% of Affordable Housing as First Homes. A more detailed explanation of First Homes and its implications is provided in the main body of the HNA.

Habitable Rooms

The number of habitable rooms in a home is the total number of rooms, excluding bathrooms, toilets and halls.

Household Reference Person (HRP)

The concept of a Household Reference Person (HRP) was introduced in the 2001 Census (in common with other government surveys in 2001/2) to replace the traditional concept of the head of the household. HRPs provide an individual person within a household to act as a reference point for producing further derived statistics and for characterising a whole household according to characteristics of the chosen reference person.

Housing Market Area

A housing market area is a geographical area defined by household demand and preferences for all types of housing, reflecting the key functional linkages between places where people live and work. It might be the case that housing market areas overlap.

The extent of the housing market areas identified will vary, and many will in practice cut across various local planning authority administrative boundaries. Local planning authorities should work with all the other constituent authorities under the duty to cooperate.

Housing Needs

There is no official definition of housing need in either the National Planning Policy Framework or the National Planning Practice Guidance. Clearly, individuals have their own housing needs. The process of understanding housing needs at a population scale is undertaken via the preparation of a Strategic Housing Market Assessment (see below).

Housing Needs Assessment

A Housing Needs Assessment (HNA) is an assessment of housing needs at the Neighbourhood Area level.

Housing Products

Housing products simply refers to different types of housing as they are produced by developers of various kinds (including councils and housing associations). Housing products usually refers to specific tenures and types of new build housing.

Housing Size (Census Definition)

Housing size can be referred to either in terms of the number of bedrooms in a home (a bedroom is defined as any room that was intended to be used as a bedroom when the property was built, any rooms permanently converted for use as bedrooms); or in terms of the number of rooms, excluding bathrooms, toilets halls or landings, or rooms that can only be used for storage. All other rooms, for example, kitchens, living rooms, bedrooms, utility rooms, studies and conservatories are counted. If two rooms have been converted into one they are counted as one room. Rooms shared between more than one household, for example a shared kitchen, are not counted.

Housing Type (Census Definition)

This refers to the type of accommodation used or available for use by an individual household (i.e. detached, semi-detached, terraced including end of terraced, and flats). Flats are broken down into those in a purpose-built block of flats, in parts of a converted or shared house, or in a commercial building.

Housing Tenure (Census Definition)

Tenure provides information about whether a household rents or owns the accommodation that it occupies and, if rented, combines this with information about the type of landlord who owns or manages the accommodation.

Income Threshold

Income thresholds are derived as a result of the annualisation of the monthly rental cost and then asserting this cost should not exceed 35% of annual household income.

Intercensal Period

This means the period between the last two Censuses, i.e. between years 2001 and 2011.

Intermediate Housing

Intermediate housing is homes for sale and rent provided at a cost above social rent, but below market levels subject to the criteria in the Affordable Housing definition above. These can include shared equity (shared ownership and equity loans), other low-cost homes for sale and intermediate rent, but not affordable rented housing. Homes that do not meet the above definition of affordable housing, such as 'low-cost market' housing, may not be considered as affordable housing for planning purposes.

Life Stage modelling

Life Stage modelling is forecasting need for dwellings of different sizes by the end of the Plan period on the basis of changes in the distribution of household types and key age brackets (life stages) within the NA. Given the shared behavioural patterns associated with these metrics, they provide a helpful way of understanding and predicting future community need. This data is not available at neighbourhood level so LPA level data is employed on the basis of the NA falling within its defined Housing Market Area.

Life-time Homes

Dwellings constructed to make them more flexible, convenient adaptable and accessible than most 'normal' houses, usually according to the Lifetime Homes Standard, 16 design criteria that can be applied to new homes at minimal cost: <http://www.lifetimehomes.org.uk/>.

Life-time Neighbourhoods

Lifetime neighbourhoods extend the principles of Lifetime Homes into the wider neighbourhood to ensure the public realm is designed in such a way to be as inclusive as possible and designed to address the needs of older people, for example providing more greenery and more walkable, better connected places.

Local Development Order

An Order made by a local planning authority (under the Town and Country Planning Act 1990) that grants planning permission for a specific development proposal or classes of development.

Local Enterprise Partnership

A body, designated by the Secretary of State for Communities and Local Government, established for the purpose of creating or improving the conditions for economic growth in an area.

Local housing need (NPPF definition)

The number of homes identified as being needed through the application of the standard method set out in national planning guidance (or, in the context of preparing strategic policies only, this may be calculated using a justified alternative approach as provided for in paragraph 60 of this Framework).

Local Planning Authority

The public authority whose duty it is to carry out specific planning functions for a particular area. All references to local planning authority apply to the District Council, London Borough Council, County Council, Broads Authority, National Park Authority or the Greater London Authority, to the extent appropriate to their responsibilities.

Local Plan

This is the plan for the future development of the local area, drawn up by the local planning authority in consultation with the community. In law this is described as the development plan documents adopted under the Planning and Compulsory Purchase Act 2004. Current core strategies or other planning policies form part of the Local Plan and are known as 'Development Plan Documents' (DPDs).

Lower Quartile

The bottom 25% value, i.e. of all the properties sold, 25% were cheaper than this value and 75% were more expensive. The lower quartile price is used as an entry level price and is the recommended level used to evaluate affordability; for example for first time buyers.

Lower Quartile Affordability Ratio

The Lower Quartile Affordability Ratio reflects the relationship between Lower Quartile Household Incomes and Lower Quartile House Prices, and is a key indicator of affordability of market housing for people on relatively low incomes.

Market Housing

Market housing is housing which is built by developers (which may be private companies or housing associations, or Private Registered Providers), for the purposes of sale (or rent) on the open market.

Mean (Average)

The mean or the average is, mathematically, the sum of all values divided by the total number of values. This is the more commonly used "average" measure as it includes all values, unlike the median.

Median

The middle value, i.e. of all the properties sold, half were cheaper and half were more expensive. This is sometimes used instead of the mean average as it is not subject to skew by very large or very small statistical outliers.

Median Affordability Ratio

The Lower Quartile Affordability Ratio reflects the relationship between Median Household Incomes and Median House Prices and is a key indicator of affordability of market housing for people on middle-range incomes.

Mortgage Ratio

The mortgage ratio is the ratio of mortgage value to income which is typically deemed acceptable by banks. Approximately 75% of all mortgage lending ratios fell below 4 in recent years²⁰, i.e. the total value of the mortgage was less than 4 times the annual income of the person who was granted the mortgage.

Neighbourhood Development Order (NDO)

An NDO will grant planning permission for a particular type of development in a particular area. This could be either a particular development, or a particular class of development (for example retail or housing). A number of types of development will be excluded from NDOs, however. These are minerals and waste development, types of development that, regardless of scale, always need Environmental Impact Assessment, and Nationally Significant Infrastructure Projects.

Neighbourhood plan

A plan prepared by a Parish or Town Council or Neighbourhood Forum for a particular neighbourhood area (made under the Planning and Compulsory Purchase Act 2004).

Older People

People over retirement age, including the active, newly-retired through to very frail older people, whose housing needs can encompass accessible, adaptable general needs housing for those looking to downsize from family housing and the full range of retirement and specialised housing for those with support or care needs.

Output Area/Lower Super Output Area/Middle Super Output Area

An output area is the lowest level of geography for publishing statistics, and is the core geography from which statistics for other geographies are built. Output areas were created for England and Wales from the 2001 Census data, by grouping a number of households and populations together so that each output area's population is roughly the same. 175,434 output areas were created from the 2001 Census data, each containing a minimum of 100 persons with an average of 300 persons. Lower Super Output Areas consist of higher geographies of between 1,000-1,500 persons (made up of a number of individual Output Areas) and Middle Super Output Areas are higher than this, containing between 5,000 and 7,200 people, and made up of individual Lower Layer Super Output Areas. Some statistics are only available down to Middle Layer Super Output Area level, meaning that they are not available for individual Output Areas or parishes.

Overcrowding

There is no single agreed definition of overcrowding, however, utilising the Government's bedroom standard, overcrowding is deemed to be in households where there is more than one person in the household per room (excluding kitchens, bathrooms, halls and storage areas). As such, a home with one bedroom and one

²⁰ See <https://www.which.co.uk/news/2017/08/how-your-income-affects-your-mortgage-chances/>

living room and one kitchen would be deemed overcrowded if three adults were living there.

Planning Condition

A condition imposed on a grant of planning permission (in accordance with the Town and Country Planning Act 1990) or a condition included in a Local Development Order or Neighbourhood Development Order.

Planning Obligation

A legally enforceable obligation entered into under section 106 of the Town and Country Planning Act 1990 to mitigate the impacts of a development proposal.

Purchase Threshold

Purchase thresholds are calculated by netting 10% off the entry house price to reflect purchase deposit. The resulting cost is divided by 4 to reflect the standard household income requirement to access mortgage products.

Proportionate and Robust Evidence

Proportionate and robust evidence is evidence which is deemed appropriate in scale, scope and depth for the purposes of neighbourhood planning, sufficient so as to meet the Basic Conditions, as well as robust enough to withstand legal challenge. It is referred to a number of times in the PPG and its definition and interpretation relies on the judgement of professionals such as Neighbourhood Plan Examiners.

Private Rented

The Census tenure private rented includes a range of different living situations in practice, such as private rented/ other including households living “rent free”. Around 20% of the private rented sector are in this category, which will have included some benefit claimants whose housing benefit at the time was paid directly to their landlord. This could mean people whose rent is paid by their employer, including some people in the armed forces. Some housing association tenants may also have been counted as living in the private rented sector because of confusion about what a housing association is.

Retirement Living or Sheltered Housing

Housing for older people which usually consists of purpose-built flats or bungalows with limited communal facilities such as a lounge, laundry room and guest room. It does not generally provide care services, but provides some support to enable residents to live independently. This can include 24 hour on-site assistance (alarm) and a warden or house manager.

Residential Care Homes and Nursing Homes

Housing for older people comprising of individual rooms within a residential building and provide a high level of care meeting all activities of daily living. They do not usually

include support services for independent living. This type of housing can also include dementia care homes.

Rightsizing

Households who wish to move into a property that is a more appropriate size for their needs can be said to be rightsizing. This is often used to refer to older households who may be living in large family homes but whose children have left, and who intend to rightsize to a smaller dwelling. The popularity of this trend is debatable as ties to existing communities and the home itself may outweigh issues of space. Other factors, including wealth, health, status and family circumstance also need to be taken into consideration, and it should not be assumed that all older households in large dwellings wish to rightsize.

Rural Exception Sites

Small sites used for affordable housing in perpetuity where sites would not normally be used for housing. Rural exception sites seek to address the needs of the local community by accommodating households who are either current residents or have an existing family or employment connection. Small numbers of market homes may be allowed at the local authority's discretion, for example where essential to enable the delivery of affordable dwellings without grant funding.

Shared Ownership

Housing where a purchaser part buys and part rents from a housing association or local authority. Typical purchase share is between 25% and 75% (though this was lowered in 2021 to a minimum of 10%), and buyers are encouraged to buy the largest share they can afford. Generally applies to new build properties, but re-sales occasionally become available. There may be an opportunity to rent at intermediate rent level before purchasing a share in order to save/increase the deposit level

Sheltered Housing²¹

Sheltered housing (also known as retirement housing) means having your own flat or bungalow in a block, or on a small estate, where all the other residents are older people (usually over 55). With a few exceptions, all developments (or 'schemes') provide independent, self-contained homes with their own front doors. There are many different types of scheme, both to rent and to buy. They usually contain between 15 and 40 properties, and range in size from studio flats (or 'bedsits') through to 2 and 3 bedroomed. Properties in most schemes are designed to make life a little easier for older people - with features like raised electric sockets, lowered worktops, walk-in showers, and so on. Some will usually be designed to accommodate wheelchair users. And they are usually linked to an emergency alarm service (sometimes called 'community alarm service') to call help if needed. Many schemes also have their own 'manager' or 'warden', either living on-site or nearby, whose job is to manage the scheme and help arrange any services residents need. Managed schemes will also

²¹ See <http://www.housingcare.org/jargon-sheltered-housing.aspx>

usually have some shared or communal facilities such as a lounge for residents to meet, a laundry, a guest flat and a garden.

Strategic Housing Land Availability Assessment

A Strategic Housing Land Availability Assessment (SHLAA) is a document prepared by one or more local planning authorities to establish realistic assumptions about the availability, suitability and the likely economic viability of land to meet the identified need for housing over the Plan period. SHLAAs are sometimes also called LAAs (Land Availability Assessments) or HELAAs (Housing and Economic Land Availability Assessments) so as to integrate the need to balance assessed housing and economic needs as described below.

Strategic Housing Market Assessment (NPPF Definition)

A Strategic Housing Market Assessment (SHMA) is a document prepared by one or more local planning authorities to assess their housing needs under the 2012 version of the NPPF, usually across administrative boundaries to encompass the whole housing market area. The NPPF makes clear that SHMAs should identify the scale and mix of housing and the range of tenures the local population is likely to need over the Plan period. Sometimes SHMAs are combined with Economic Development Needs Assessments to create documents known as HEDNAs (Housing and Economic Development Needs Assessments).

Specialist Housing for Older People

Specialist housing for Older People, sometimes known as specialist accommodation for older people, encompasses a wide range of housing types specifically aimed at older people, which may often be restricted to those in certain older age groups (usually 55+ or 65+). This could include residential institutions, sometimes known as care homes, sheltered housing, extra care housing, retirement housing and a range of other potential types of housing which has been designed and built to serve the needs of older people, including often providing care or other additional services. This housing can be provided in a range of tenures (often on a rented or leasehold basis).

Social Rented Housing

Social rented housing is owned by local authorities and private registered providers (as defined in Section 80 of the Housing and Regeneration Act 2008.). Guideline target rents for this tenure are determined through the national rent regime. It may also be owned by other persons and provided under equivalent rental arrangements to the above, as agreed with the local authority or with Homes England.²²

²² See <http://www.communities.gov.uk/documents/planningandbuilding/doc/1980960.doc#Housing>

BARBY & ONLEY

Design Guidance and Codes

Draft report
December 2023

Quality information

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Introduction

01

*Roseworth
Cottage*

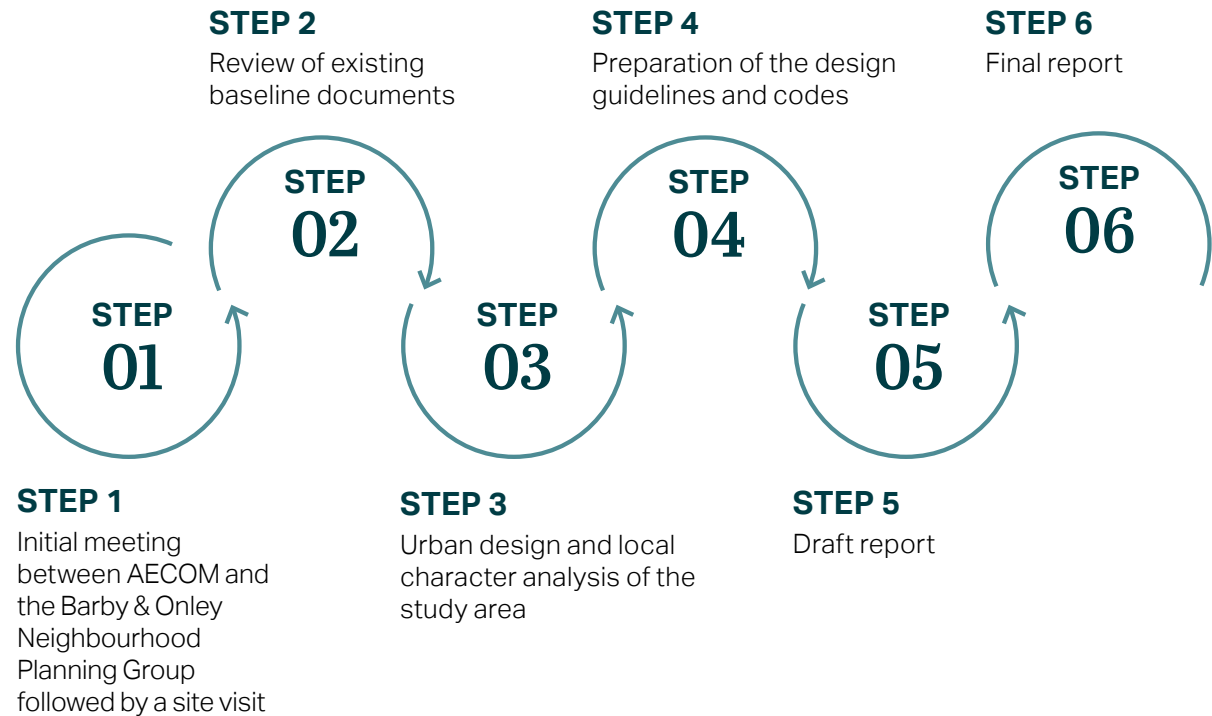
1. Introduction

1.1 Purpose and process

The general design guidelines and specific codes set out in this report will provide a detailed framework that should be followed by any future design proposals that come forward within the parish to ensure it meets a consistent, high quality standard of design and positively contributes to the unique characters of Barby and Onley.

It is intended that this report becomes an integral part of the Barby and Onley Neighbourhood Development Plan by informing policies that will influence the design of new development and have weight in the planning process.

The following steps were agreed with the Neighbourhood Plan Review Group to produce this report, which draws upon policy development and engagement work undertaken by the Group:



1.2 Policy context

This section outlines the national and local planning policy and guidance documents which should be read in conjunction with this design guide.

1.2.1 NATIONAL POLICY AND GUIDANCE

National Planning Policy Framework Department of Levelling Up, Housing and Communities | 2021

Development needs to consider national level planning policy guidance as set out in the National Planning Policy Framework 2021 (NPPF) and the associated National Planning Policy Guidance (NPPG). In particular, the NPPF Chapter 12: Achieving well designed places stresses the creation of high quality buildings and places as being fundamental to what the planning and development process should achieve. It sets out a number of principles that planning policies and decisions should consider ensuring that new developments are well designed and focus on quality.

Building for a Healthy Life Homes England | 2020

Building for a Healthy Life (BHL) is the Government endorsed industry standard for well designed homes and neighbourhoods. The BHL toolkit sets out principles to help guide discussions on planning applications and to help local planning authorities to assess the quality of proposed (and completed) developments, but can also provide useful prompts and questions for planning applicants to consider during the different stages of the design process.

BHL is supported by Streets for a Healthy Life, which demonstrates what can be achieved in creating streets as places for people.

National Design Guide

Department of Levelling Up, Housing and Communities | 2019

The National Design Guide 2019 illustrates how well designed places that are beautiful, enduring and successful can be achieved in practice.

National Model Design Code

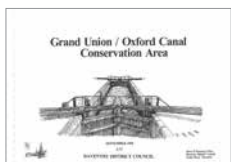
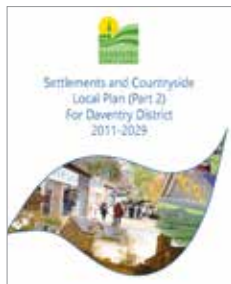
Department of Levelling Up, Housing and Communities | 2021

The National Model Design Code 2021 provides detailed guidance on the production of design codes, guides and policies to promote successful design. It expands on 10 characteristics of good design set out in the National Design Guide. This guide should be used as reference for new development.

Manual for Streets

Department for Transport | 2007

Development is expected to respond positively to the Manual for Streets 2007, the Government's guidance on how to design, construct, adopt and maintain new and existing residential streets. It promotes streets and wider development that avoid car dominated layouts but that do place the needs of pedestrians and cyclists first.



1.2.2 LOCAL DESIGN GUIDANCE

Settlements and Countryside Local Plan (Part 2)

Daventry District Council | 2020

The district level local plan begins by introducing the area and analysing the population, housing, economy, transport, built and natural environment. It provides the district's vision and objectives and details policies on development in rural areas, housing needs, economy, sustainable transport, built and natural environment, community and well being. The document also consists of an annex which provides inset maps, strategic policies, background papers, list of local green spaces, among others.

Housing Supplementary Planning Document

Daventry District Council | 2017

The Housing SPD provides guidance on the new, revised and emerging policy context at both the national and local level affecting the provision of housing including affordable housing and starter homes. The guidance ensures the delivery of an appropriate mix of market and affordable housing suitable in tenure, type, size and location to meet identified housing need.

Grand Union / Oxford Canal Conservation Area

Daventry District Council | 1995

The appraisal document provides information on the history and character of the conservation area. It also offers advice on potential enhancements. This document sits alongside the Grand Union / Oxford Canal conservation area map which outlines the boundary.

1.3 Area of study

Barby and Onley is a split parish located in the Daventry area of West Northamptonshire, to the south of Rugby.

Barby is situated on a hilltop overlooking the Rainsbrook and Leam Valleys. It is primarily a residential settlement, with a number of other facilities to serve day to day needs, such as a garden centre, St Mary's Church, a pub, a general shop and post office, a Church of England primary school, a village hall, allotments, and a playground.

The settlement at Onley is situated to the east of the site of a medieval lost village. There are two prisons and a secure training centre to the north of the settlement. The Onley village is solely residential. Dunchurch Pools Marina is located to the south of the village.

The parish is very well connected as it borders the M1 and is bisected by the M45 which links the area with Coventry and Birmingham to the northwest. The nearest railway station is Rugby which offers a service to a variety of destinations including Manchester, London Euston, Birmingham, Blackpool, Edinburgh and Glasgow. Within the Barby village there are several bus stops which provide the community with buses towards Daventry regularly throughout the day.

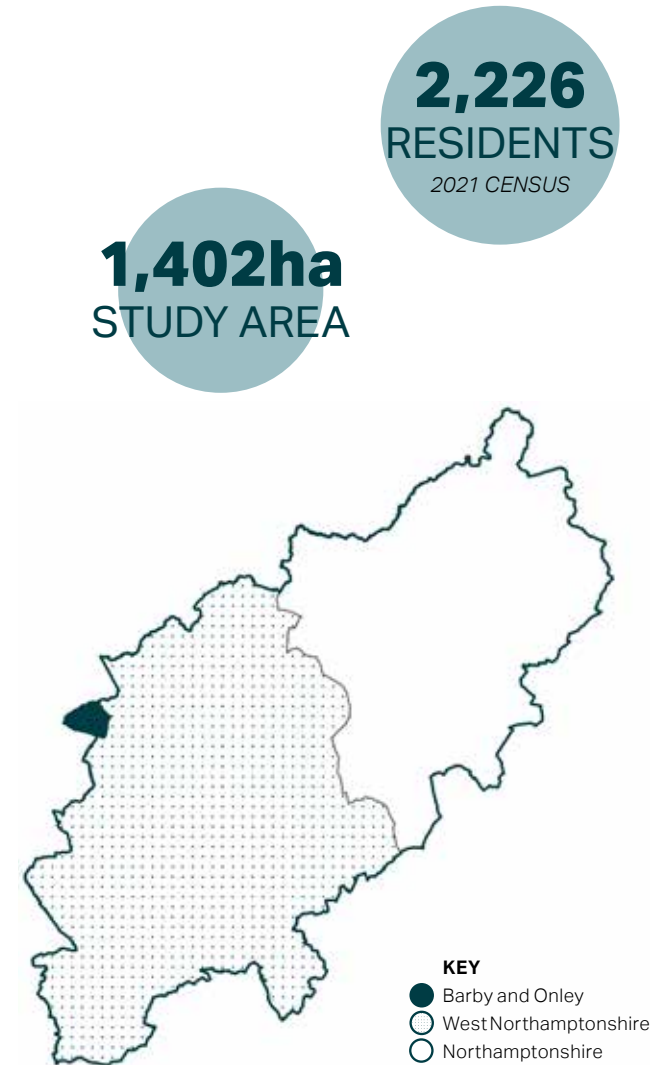


Figure 01: Neighbourhood Area within context of Northamptonshire county



Figure 02: Barby and Onley Wider Context. Source: OS Open Data, ESRI World Imagery



Place Analysis

02

2. Place Analysis

This section presents a snapshot of the Neighbourhood Area today to inform the design objectives of the Design Guidance and Codes. It provides an overview of Barby and Onley's heritage, settlement pattern, movement network, landscape and built character.

2.1 History and heritage

Barby and Onley as a parish holds a great deal of historic value, featuring 2 Scheduled Monuments, 18 Listed Buildings & 2 Listed Walls within the neighbourhood area.

The Oxford Canal, which dissects the Parish, was originally constructed in the 1770s to connect the River Thames with the Grand Union Canal. For 15 years, the canal was the main artery of trade between London and the Midlands. However these days it is used mainly by narrow boats for leisure purposes.

Traditionally, Barby was an agricultural village occupied by farm workers and associated tradesmen. Whilst the population of the Barby village remained stable during the 19th and early 20th

century, a small factory was built in the 1950s (which later housed Maclaren's Baby Buggy company), and housing expansion during the 1960s resulted in rapid growth, with new residents employed in Rugby and Coventry. During this time a new school was also built to serve the expanding population.

The lost medieval village of Onley is located to the north-west of where the current settlement stands. The Scheduled Monument was designated in 1955 to preserve the archaeological findings found on site. The earliest identified date of the original settlement is said to be around 1272, and covered an area of 28 hectares. During the Second World War, Onley was used as a prisoner of war camp. Remnants of the Great Central Main Line railway are close to the settlement of Onley. The railway line was originally built and opened in 1899 during the Victorian era, and ran from Sheffield to Marylebone, London. The line was closed in 1966 as the route was duplicated by others, and it was later preserved by heritage railways.

Please refer to the Barby Local History Group website for more information.¹

¹ <https://www.barbylhg.org.uk/local-topics.aspx>



Figure 03: The Arnold Arms from Castle Mound field c1930. The road to Daventry winds up the hill beyond. *Source: Barby Local History Group*



Figure 04: The Black Horse public house c1920. *Source: Barby Local History Group*

Conservation area

The Grand Union and Oxford Canal Conservation Area runs across the parish. The canal network dates from the late 18th century, although over the years it has gone through a series of upgrades and alterations, much of the canal as it stands today remains as originally built.

The original purpose of the canal, much like many other canal networks from Britain's industrial heritage, was the transportation of goods.

The Conservation Area is characterised by the canal, with its towpaths and includes all the bridges crossing the canal and their associated ramps within its boundaries.

Scheduled Monuments

There are two Scheduled Monuments within the neighbourhood area:

- **Abandoned medieval village of Onley¹:** The site was first documented in 1272, *"The village, comprising a small group of houses (tofts), gardens (crofts), yards, streets, paddocks, a manor and a church, sometimes a green, occupied by a community devoted primarily to agriculture, was a significant component of the rural landscape in much of*

¹ <https://historicengland.org.uk/listing/the-list/list-entry/1003900?section=official-list-entry>

lowland medieval England, much as it is today." The abandonment of the settlement is said to have started as early as the 11th century and peaked towards the 14th/15th century. Despite the common view that the plague caused the abandonment of the medieval village, research suggests that the abandonment may have been due to the shift from arable farming to sheep pasture in the 15th/16th century, and the enclosure of open fields for embankment and agricultural improvement.

- **Barby Motte Castle²:** The site is the best preserved example of motte castles in Northamptonshire, with the motte mound being well defined and surviving in good condition. *"The motte is an oval flat topped mound standing about 3m above the surrounding land, with a basal diameter of about 60m. The motte is surrounded by a broad flat bottomed ditch which is up to 1.5m deep."* Locally known as the Barby castle, the motte castle is said to be the site of the medieval manor house.

² <https://historicengland.org.uk/listing/the-list/list-entry/1009512>



Figure 05: Grand Union and Oxford Canals, Conservation Area



Figure 06: Aerial view of the current site of the abandoned medieval village of Onley, Scheduled Monument

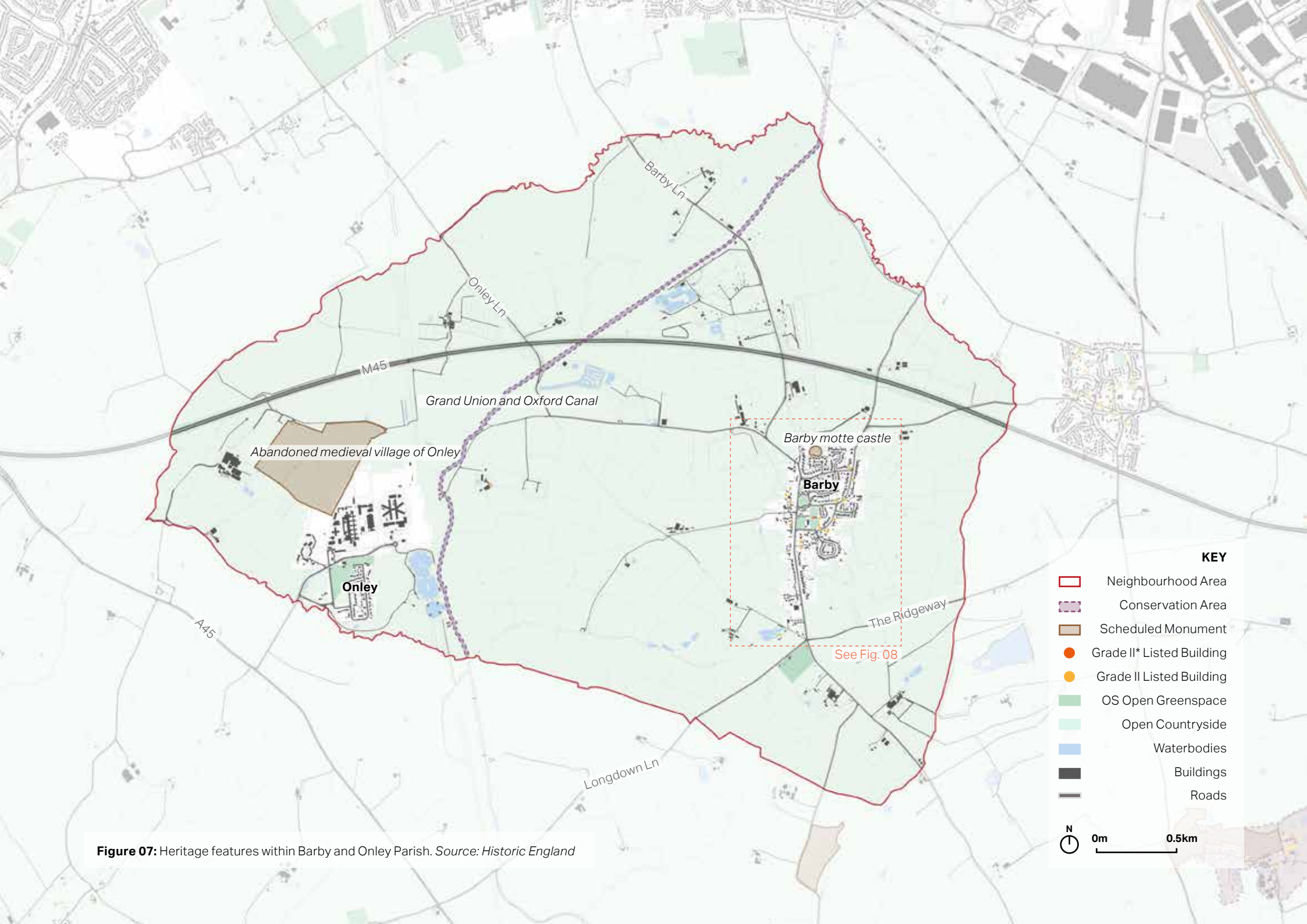


Figure 07: Heritage features within Barby and Onley Parish. Source: Historic England

Listed buildings and walls

The neighbourhood area's rich architectural heritage is evident in the number of listed features. There are 18 Listed Buildings & 2 Listed Walls. The majority of the listed features in the parish sit within the core settlement of Barby, with one outlier 'Barby Wood Farmhouse' which is situated within the countryside to the west of Barby. There are no Listed Buildings within Onley. Some notable Listed Buildings within the Neighbourhood Area are listed below and feature on the following page.

- **Church of St. Mary** (Grade II*); originally listed 1968. *"C13 and C14, restored C19. Squared coursed sandstone and sandstone ashlar, partly coursed ironstone rubble in south aisle, slate and lead roofs."*
- **Boseworth Cottage** (Grade II); originally listed 1987. *"Probably C18. Coursed limestone rubble plinth, rendered walls, tile roof, brick stack to left, 2 storeys; 2 bays. Doorway in left bay has wood lintel, C20 door and tile hood."*
- **Barby Corn Mill** (Grade II); originally listed 1987. *"Disused Tower Mill. Early C19. Blue and red brick, no roof. 3 storeys. Original doorways and windows (mostly blocked) with flat arched brick openings."*



Figure 08: Listed features within the main settlement of Barby.



Figure 09: Church of St Mary, Grade II* listed



Figure 10: Boseworth Cottage, Grade II listed



Figure 11: Walnut Cottage, Grade II listed



Figure 12: 24 Kilsby Road, Grade II listed



Figure 13: Grey's Orchard, Grade II listed



Figure 14: Hopthorne Cottage, Grade II listed

2.2 Settlement pattern

Barby

Barby follows a nucleated settlement pattern, centred around the church. The core road network of Barby comprises Rugby Road, Kilsby Road, Rectory Lane and Ware Road. Development up to the 20th century was constructed along these roads in an informal pattern with varied plot sizes, building lines and orientation as seen in Figure 15. This is due to the agricultural origins of the Barby village during this time.

The overall settlement pattern is mostly retained. During the 20th and 21st centuries development was primarily in the form of cul-de-sacs both infilling between the original settlement boundary and also extending Barby to the north off Ware Road and east and south off Kilsby Road. There was also 20th and 21st century linear development along Daventry Road which extended Barby south. More recent development has more regular plots, building lines and orientations compared to the informal layouts of older properties.

Despite the extension of the Barby village settlement, many of the original woodland features have been retained throughout, which contributes towards the rural and enclosed setting of Barby.



Figure 15: Barby village, Northamptonshire. Historic map, 1899

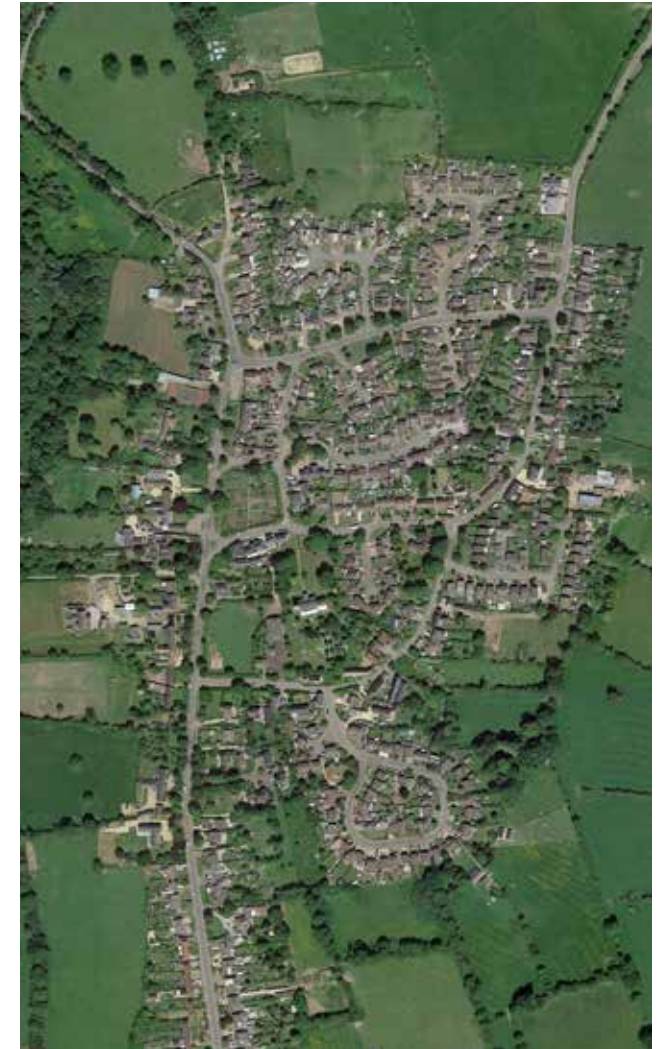


Figure 16: Barby village, Northamptonshire. Aerial map, 2023

Onley

The earthwork complex at Onley's lost medieval village consisted of identifiable streets, fishponds, fields and a dovecote/windmill.

Onley's settlement pattern today is largely influenced by the prison complex. The small amount of residential development is arranged in a looped cul-de-sac with regular and formal plot layouts and building set backs. The new marina inlet by Onley added a junction with the Oxford Canal.



Figure 17: Onley village, Northamptonshire. Historic map, 1899



Figure 18: Onley village, Northamptonshire. Aerial map, 2023

2.3 Movement pattern

Roads

Barby and Onley as a parish is well connected to the surrounding area via the M45 and the bordering M1. Barby Lane is another key route which connects Barby with Rugby to the north.

Barby and Onley are not directly connected by any road as a result of the Oxford Canal cutting through the centre of the parish. The easiest way of accessing the latter from Barby is via Longdown Lane and the A45. Much of the residential roads in both settlements are of a cul-de-sac typology.

Walking and active travel

As can be seen on the map, overleaf, the parish benefits from an abundance of public footpaths and bridleways. This allows people to make the most of the surrounding countryside as well as encouraging active transport.

Public transport

The closest railway station to Barby and Onley is at Rugby, which provides direct trains into London Euston within 57 minutes.

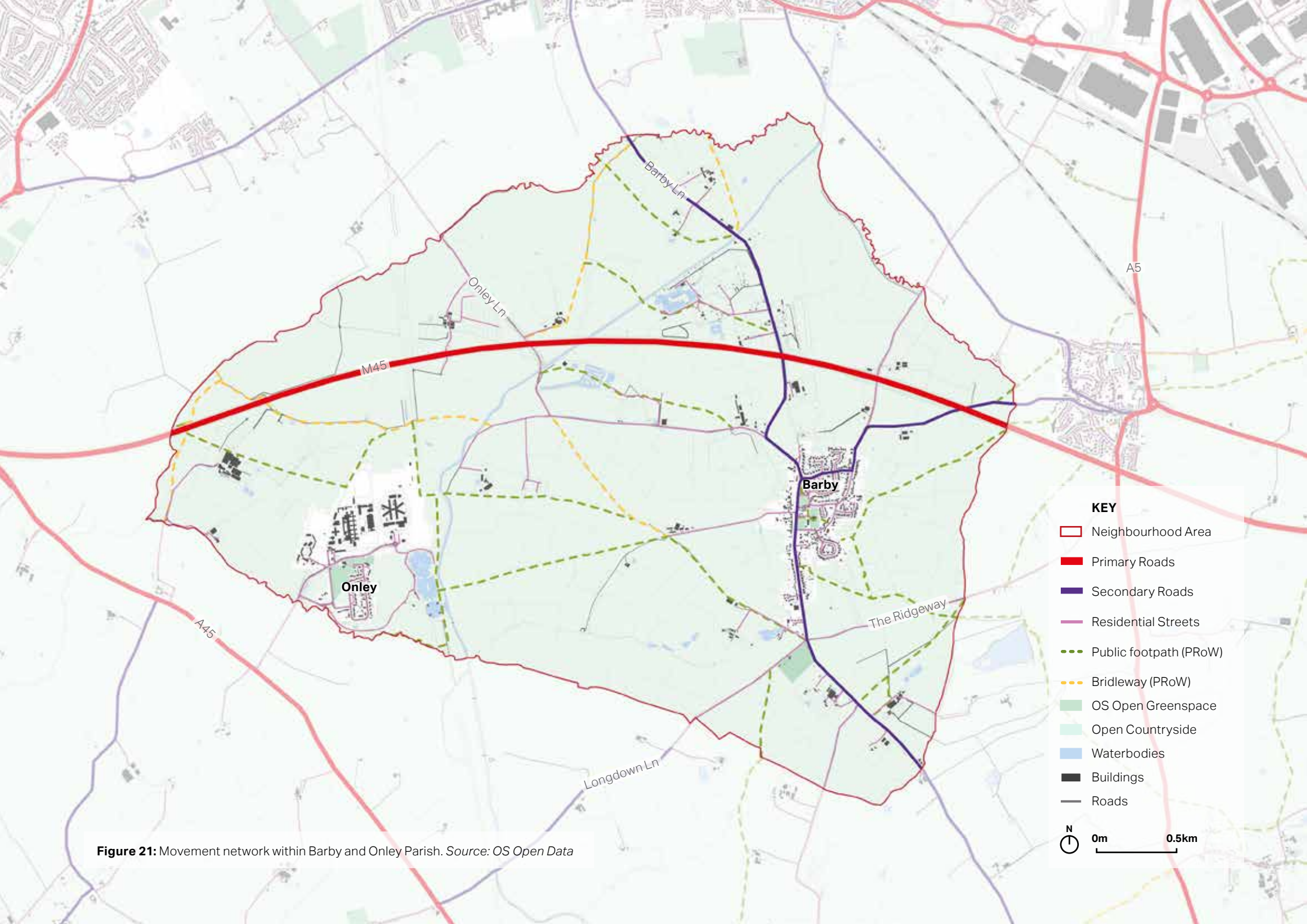
Barby is well connected to the surrounding settlements by bus via the D1 bus route, which runs from Rugby to the north and terminates at Daventry to the south. There are a number of bus stops in Barby for the D1 route along the main residential roads. Onley has 1 bus service per week. The bus is a 16 seater mini bus run by National Express Line 203 and picks up from the bus stop opposite HMP Onley Prison every Monday morning around 09:50 and drops off in Rugby by Asda and collects 1.5hours later for a return journey.



Figure 19: D1 Rugby-Daventry bus route through Barby



Figure 20: The parish benefits from an abundance of public footpaths and bridleways



KEY

- Neighbourhood Area
- Primary Roads
- Secondary Roads
- Residential Streets
- Public footpath (PRoW)
- Bridleway (PRoW)
- OS Open Greenspace
- Open Countryside
- Waterbodies
- Buildings
- Roads

N
0m 0.5km

Figure 21: Movement network within Barby and Onley Parish. Source: OS Open Data

2.4 Landscape and spatial setting

Topography

Barby is situated on the top of a hill in the rolling agricultural countryside of West Northamptonshire. The topography gently rises to the south of the Barby village and falls away steeply to the north and west towards the Oxford Canal which runs along the bottom of the valley. Onley sits on lower, flatter ground which slopes down towards the canal to the east. Figure 22, conveys the variety in the topography across the Neighbourhood Area.

Views

The landform affords long distance views in the parish created by the topography and areas of open countryside. In particular 12 important views are identified in the Barby and Onley Neighbourhood Development Plan, as shown on Figure 24, overleaf.

Vegetation and villages on high ground, such as Barby, limit more extensive panoramic views and instead provide focal points for views in the parish.

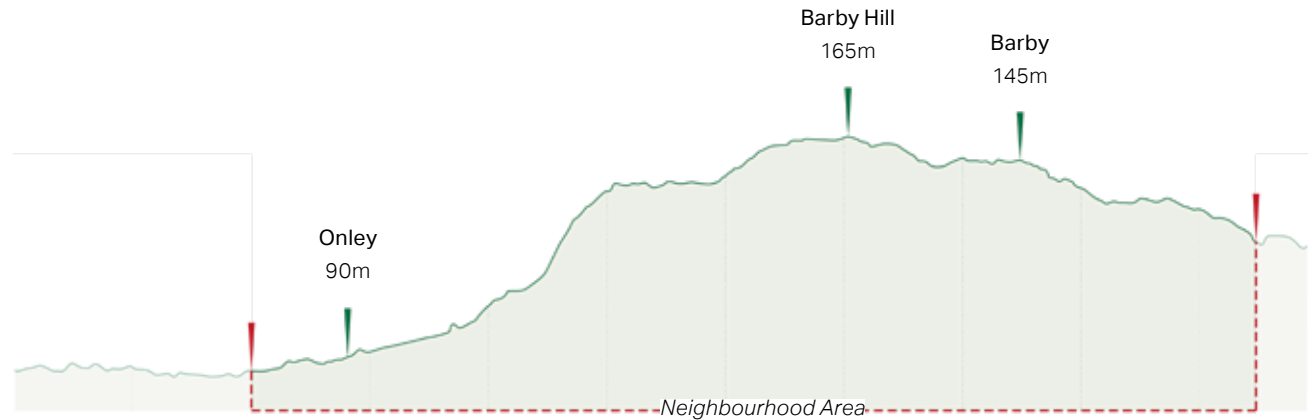


Figure 22: Elevation profile of the neighbourhood area (refer to figure 24). The profile shows the elevated setting of Barby and the low lying placement of Onley, in relation to the surrounding countryside.



Figure 23: Long distance view from the hilltop location of Barby over lower ground.

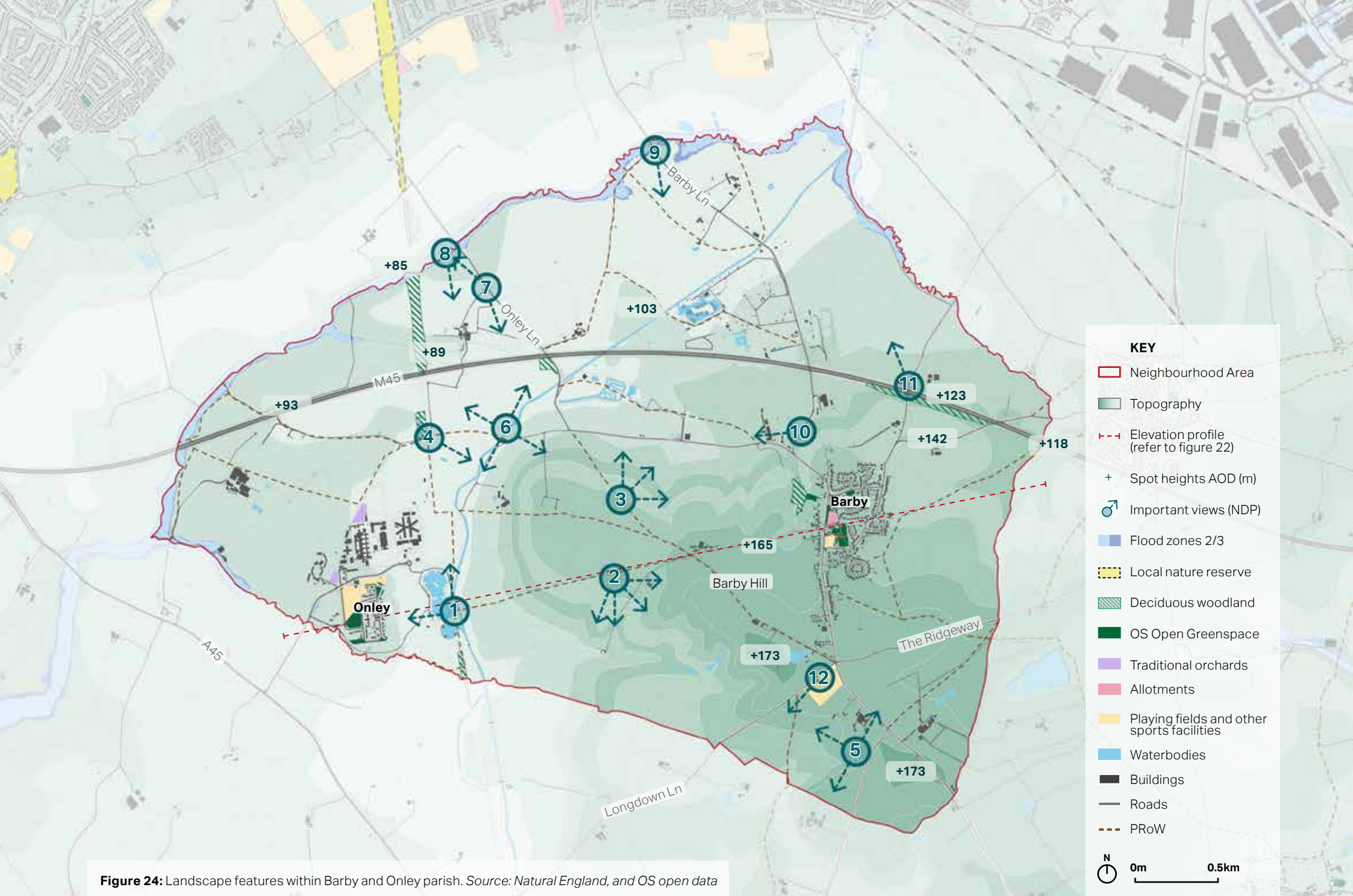


Figure 24: Landscape features within Barby and Onley parish. Source: Natural England, and OS open data

Open environmental areas

Much of open environmental areas surrounding the villages of Barby and Onley are used for agricultural farming. Within the settlements there are designated 'Local Green Spaces'. These Local Green Spaces are the most significant designation and are identified in the Barby and Onley Neighbourhood Development Plan, Table 3. The open space at Onley referred to as 'Open Space Land' in the NDP is designated exclusively for recreational and amenity purposes by the residents. The OS Open Greenspaces, classified by Traditional orchards, Allotments, Playing fields and other sports facilities are illustrated in Figure 24.

Public realm

The Barby village has a number of public realm amenities. These include: The Ware, Millennium Orchard, the Village Green, Barby Village Hall, Barby children's play area, Lees Pitt and allotments. These feature are marked on Figures 31 and 32. There is also a village hall in Onley. A comprehensive list of community facilities can be found in Barby and Onley Neighbourhood Development Plan.

The public realm also benefits from benches in green areas such as the Memorial Garden which is outside of the churchyard.

In some areas there is inconsistent pavement provision through either a lack of pavements, only on one side of the road or narrow pavements. Whilst this is in keeping with the rural setting of the Neighbourhood Area, this could create safety or accessibility issues for pedestrians.

Green verges

There are frequent green verges in the Barby village, which are commonly located between the pavement and front gardens of houses or between the road and pavement.

Boundary treatments

There are a variety of boundary treatments within Barby. Green boundaries such as hedges, trees and vegetation are seen often throughout and along the sides of roads and are a key aspect of the rural character, creating a pleasant backdrop and a great deal of visual enclosure.

Walls as boundary treatments are either brick or stone. Stone walls tend to be coursed ironstone or limestone. The tops of the walls vary, with cock and hen coping the most common variant for stone walls.

Boundary treatments other than stone walls are evident, but feature sparingly, particularly within the historical core of



Figure 25: Example of a boundary treatment wall in the parish.



Figure 26: Large areas of green verges along Daventry Road (Barby).

Barby. Red brick walls are commonly topped with blue brick coping or tile capping.

Treed setting

The term treed stands for 'planted with trees', or 'wooded'. Trees in the neighbourhood area contribute to its rural character. As well as in private gardens, trees line fields and often line the boundary between the built up area and surrounding countryside. There are also some street trees, for example along Kilsby Road between Rectory Lane and Holme Way.

Water

The most prominent water feature of the parish is the Oxford Canal which runs through the centre of the parish, between the two settlement areas of Barby and Onley. The canal is designated a Conservation Area due to its historical significance, for the entirety of its stretch through the parish. There is a marina in Barby called Barby Moorings, and also a marina in Onley called Dunchurch Pools Marina.

Due to the topography of the area and the lack of flooding risk from the canal, both Onley and Barby do not have significant risk of flooding. There are some flood risk zones along the western and northern parish boundary which relate to Rainsbrook.



Figure 27: Barby children's play area.



Figure 28: Allotments in Barby.



Figure 29: The Oxford Canal.



Figure 30: Memorial Garden.

2.5 Built character

This section identifies the prevalent built characteristics within Barby and Onley, which contribute towards its setting.

Urban grain

Barby has three main patterns of development which make up its urban grain. These consist of organic development, linear development and cul-de-sacs. The oldest parts of the Barby village primarily fall within the organic development pattern, which is characterised by irregular plot sizes, variations in building lines and orientation and an informal layout.

Linear development describes the areas where development follows the line of the roads. The building line is set back a short distance from the road and is consistent with small amounts of variation. Plots are often long and thin and there is a more formal layout.

Cul-de-sacs within the Barby village are typically short and formed of 20th-21st century development. Building lines and plots within the same cul-de-sacs are consistent, though vary between different cul-de-sac developments. The smallest and



Figure 31: Barby village settlement layout and urban grain



Figure 32: Onley village settlement layout and urban grain

KEY

Organic	Linear	Cul-de-sacs	OS Open Greenspace	Buildings	Roads
---------	--------	-------------	--------------------	-----------	-------

densest plots in the Barby village are found in these areas, for example on Holme Way.

The built character of Onley is dominated by the prison complex. The small amount of residential development is arranged in a looped cul-de-sac and has a formal layout.

Low densities

The rural setting guides the low overall density throughout the parish, adding to the character of the local area. Density varies within the parish, with Barby ranging approximately between 10-15dph, and Onley approximately 15dph. Much of the housing stock within the parish consists of detached and semi-detached homes, a number of these houses have large back gardens which back onto the open countryside. Higher density typologies, such as terraced housing can be found close to the Barby Village Centre at Barby, which tend to have a higher density of around 18dph, due to their smaller footprint and plot size.

Wide setbacks

Residential buildings within the parish are typically well setback from the road, in some cases as deep as 10-15m. The wide setbacks allows for substantial front gardens, driveways and garages, concealed by hedgerows, hedges, natural timber

fencing or low brick walls for security and privacy. The wide setbacks help create a serene and tranquil quality.

Building line

There are a variety of building lines within the parish. Generally each street follows a typical pattern where all of the buildings share a common building line, creating a continuous enclosure along the street. The building lines are an important aspect of the rural character, as they help unify diverse building forms.

Inconsistent street frontages

Along Daventry Road (Barby), different typologies and setbacks feature on each side of the street, with rows of two storey terraced houses to the west, and single storey semi-detached bungalows to the east. The frontages of the bungalows are set back, with private driveways and some have front gardens, while the terraced houses have communal driveways and front gardens. The streetscape is united by the consistent occurrences of grass verges along both sides of the road.

Glimpsed roofline over the foliage

As previously described, mature trees and hedgerows are a key feature of the streetscape, lining the road corridors,



Figure 33: Example of a detached house within the parish with wide setback, front driveway and detached garage.



Figure 34: View from Kilsby Road looking towards Holme Way, showing the consistent building line of the detached houses.

resulting in a green and leafy character. This vegetation can be glimpsed between and beyond the roof lines of housing within Barby, softening the appearance on the built form.

Low building scale

One of the unifying elements within the neighbourhood area is the low building scale, with houses within both settlements of Barby and Onley typically one to two storey, creating a consistent built character. There are examples of larger scale isolated farmsteads in the countryside. The building scale in relation to each other and surroundings are key in maintaining the rural feel.

Landmark buildings

There are a number of landmark buildings within the neighbourhood area which are not listed but are local landmark buildings of value. The Arnold Arms Pub stands at the intersection between Rugby Road and Ware Road, which acts as a landmark corner building. The congregational chapel building at The Green is another landmark building of note. The chapel has been sensitively renovated as a residential unit and stands at the Barby Village Centre in a prominent position.



Figure 35: The low building scale of Barby is a key characteristic.



Figure 36: Buildings are typically one to two storey throughout.



Figure 37: The Arnold Arms pub, built 1800s, acts as a landmark corner building at the intersection between Rugby Road and Ware Road.



Figure 38: The congregational chapel building at the Green, renovated as a residential building acts as a landmark building in a prominent at the Barby Village Centre.

Materials

One of the characteristics of the settlements of Barby and Onley is the simple palette of materials. Local and traditional building materials feature on historic and listed buildings, many believed to be of cob construction.

Some commonly used wall materials within the parish includes: red brick, coursed ironstone, sandstone, limestone, rendered walls. Roof materials includes: blue or black slate roof, tiled roof, thatch roof, corrugated iron over thatch. Details such as flanking red brick chimney stacks are also commonly featured.

Variety of building types and architectural styles

A variety of building styles are present in the neighbourhood area, but the strong influence from the historic core and references to the local material palette can be seen throughout the parish. The historic core is clearly defined by the concentration of Listed Buildings. As the Barby village has expanded, characteristics from each period of development can be seen used by the residential units around the periphery. This consists of architectural styles from the post war era, and more recent 20th/21st century examples.



Figure 39: The historic housing in the area is predominately Northamptonshire ironstone, with corrugated iron over thatch.



Figure 40: Grey's Orchard, built C17/C18. Rendered walls, probably cob construction, thatch roof, brick stacks.



Figure 41: Ashleigh House, late C18. Red brick in Flemish bond with lighter colour headers and slate roof.



Figure 42: More recent development of mid to late 20th century, with off white rendered wall and local stone quoins detailing.

Barby Built Character Examples



Figure 43: White render and corrugated iron over thatch roof.



Figure 44: Red brick and clay pantile, semi-detached houses.



Figure 45: Barby Village store.



Figure 46: White render and timber frame, terraced houses.



Figure 47: Light coloured brick, with white weatherboarding.



Figure 48: St Mary's Barby, Grade II* listed church.

Onley Built Character Examples



Figure 49: Red brick and cream render, semi-detached houses.



Figure 50: Red brick, cream weatherboarding, and white render.



Figure 51: Public realm features within Onley Park.



Figure 52: Light coloured brick ground floor and white render.



Figure 53: White render with timber fenestration detailing.



Figure 54: Entrance to the Dunchurch Pools Marina in Onley.

Development period timeline

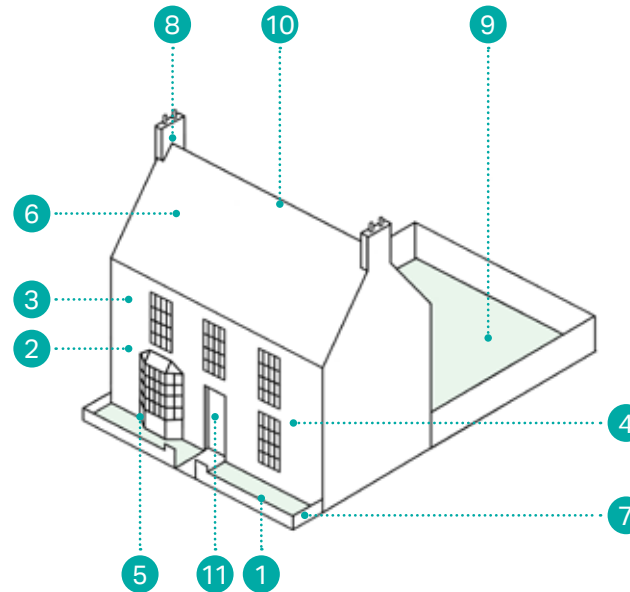


House types

There are a variety of different house types, within the neighbourhood area which relate to the different periods of development.

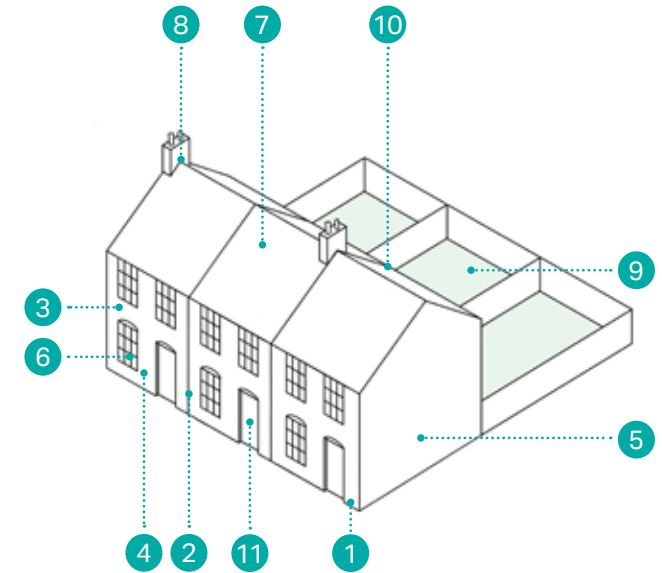
The images on the following pages show some of the types typically found in Barby and Onley along with some general features associated with them. There are other house types which are explored further in Section 3 (Character Study).

Georgian/Victorian detached



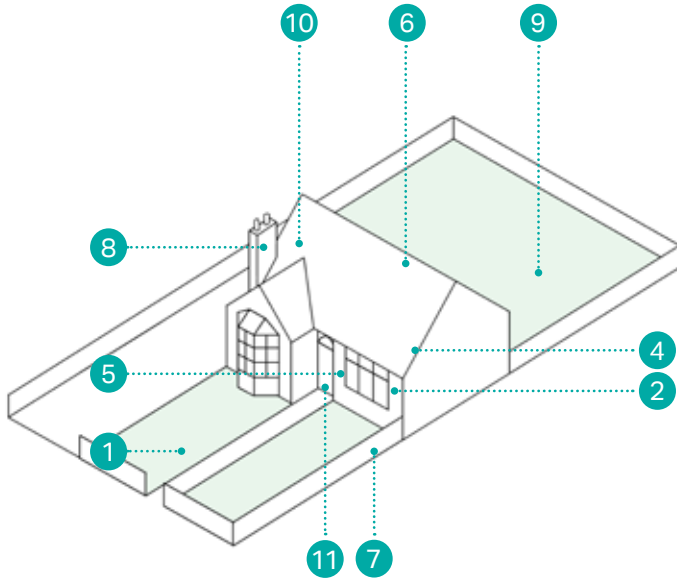
1. Small setback / front garden.
2. Limestone rubble / red brick frontage.
3. Two storey detached house.
4. Symmetrical fenestration / facade.
5. Sash or bay windows.
6. Red pantiles or grey slate tiles.
7. Low stone / brick wall boundary.
8. Chimney stack on both ends.
9. Medium back garden.
10. Pitched gable roof of varying heights.
11. Double pane timber door.

Terraced



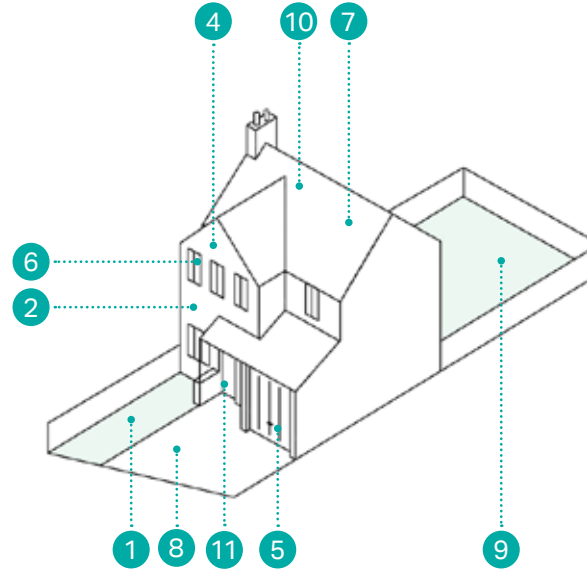
1. Small or no setback.
2. Limestone rubble / red brick frontage.
3. Two storey terraced houses.
4. Repetitive fenestration / facade.
5. Rows of 3 to 8 houses.
6. Sash windows.
7. Red pantiles or grey slate tiles.
8. Chimney stack per house.
9. Small to medium back gardens.
10. Pitched gable roof.
11. Double pane timber door.

Bungalow



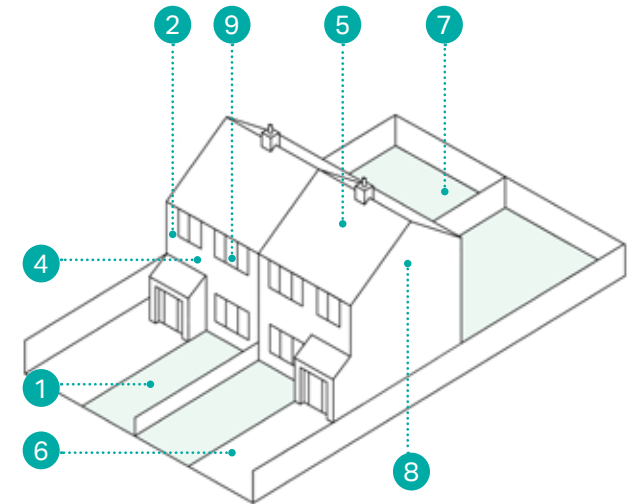
1. Small to large front garden.
2. Limestone or red brick frontage.
3. One storey bungalow.
4. Asymmetric fenestration / facade
5. Casement or bay windows.
6. Red pantiles or grey slate tiles.
7. Stone or brick wall / hedgerow boundary.
8. Chimney stack on one end.
9. Medium to large back garden.
10. L-shaped pitched roof.
11. Various style of door.

20th/21st Century detached



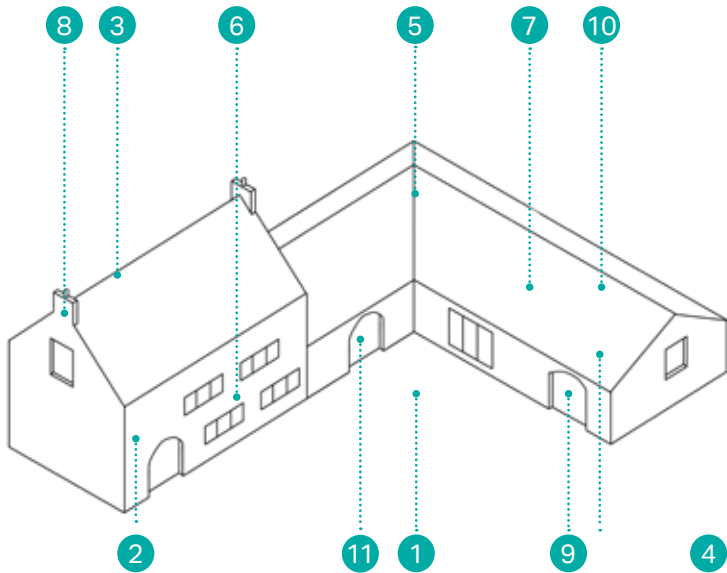
1. Irregular shaped front garden.
2. Various colour brick frontage.
3. Two storey detached house.
4. Asymmetrical fenestration / facade.
5. Built-in garage.
6. Neo-Georgian/Victorian features.
7. Various rooftiles.
8. Driveway in front of house.
9. Medium to large back garden.
10. L-shaped pitched roof.
11. Georgian/Victorian style door.

20th Century semi-detached



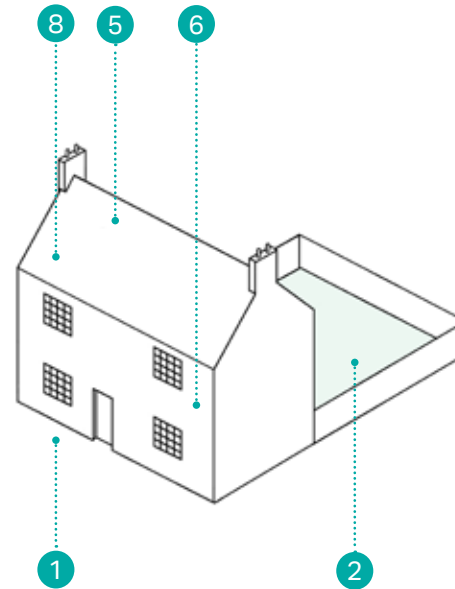
1. Small to large front garden.
2. Various colour brick frontage.
3. Two storey semi-detached house.
4. Often symmetrical fenestration / facade.
5. Mostly clay tiles.
6. Driveway in front of house.
7. Medium to large back garden.
8. L-shaped pitched roof.
9. Casement windows.

Farmstead



1. Courtyard arrangement.
2. Coursed limestone rubble frontage.
3. Height ranging between 1 and 2 storeys.
4. Outbuildings / garages.
5. L-shaped building footprint.
6. Informal window arrangement.
7. Red pantiles or grey slate tiles.
8. Chimney stacks.
9. Stable entrances.
10. L-shaped pitched roof.
11. Wooden farmhouse doors.

Rustic Cottage



1. Varied setback, often small.
2. Narrow plan depth
3. Typically date from the 17th century onwards
4. Simple linear form
5. Steep pitched roof
6. Constructed from limestone rubble, semi-dressed ironstone, sandstone or brick
7. Earlier examples are timber framed
8. Original thatched roof or replaced with plain roof tiles



Character Study

03

3. Character Study

This section outlines the character areas within Barby and Onley. These areas vary in character primarily due to their location, setting and period of development.

3.1 Character areas

Following on from the analysis set out above, this chapter focuses on the different character areas within the parish. The different areas are characterised by variations in topography, movement, views and landmarks, green space and landscape cover, public realm and streetscape, built form and architectural details.

Development in each CA should respond to and reflect the prevailing built and landscape features, as defined in this study, to maintain its unique setting.

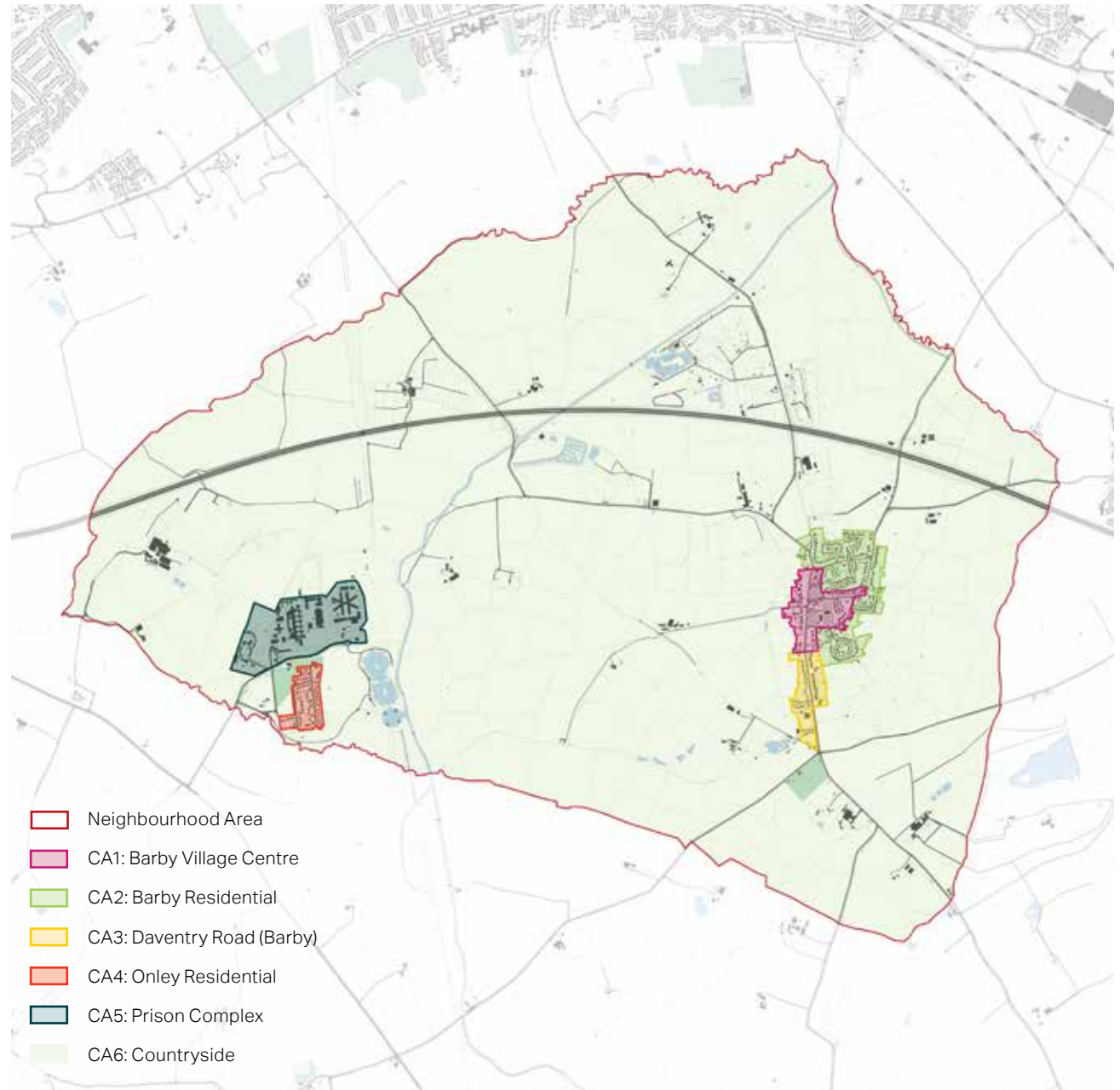


Figure 55: Indicative character typologies within Barby and Onley Parish.

CA1 BARBY VILLAGE CENTRE



The Barby Village Centre Character Area stretches along Rugby Road, covers Rectory Lane, and some sections of Kilsby Road. The Character Area centres around the core of the original village settlement of Barby, including the Barby village pub, shop, and post office and contains most of the village's Listed Buildings.



Figure 56: Examples of architectural styles within the character area

Land use	Mainly residential buildings. Includes the Barby Village Hall, Village Shop, The Arnold Armspub and St Mary's Church, with adjoining green spaces (Childrens park, church yard, and allotments).	Heights & roofline	A mix of one and two storey buildings with gentle variations in height. A variety of gabled, pitched, and half hip roofs. Chimney stacks punctuate the roofline, offering variation. The tower of St Mary's Church dominates the roofline.
Pattern of development	The Barby Village Centre is the oldest part of the settlement and is thus characterised by irregular plot sizes, variations in building lines, orientation and an informal layout.	Public realm	Typically, tarmac pavements on one side of the road with wide and continous grass verges providing a buffer from the road.
Building line	A variety of building setbacks. Typically properties have front gardens of varying depth. Buildings are oriented to face the road.	Materials	Predominantly local traditional materials. Typically off white render and local stone, with some examples of red brick. Roofs feature mostly blue or black slate, thatch, and corrugated iron over thatch.
Boundary treatment	Front gardens are typically delineated by landscaped hedges. Some examples have low to high local stone walls.		

Figure 57: Table of characteristics within the Barby Village Centre Character Area

CA1

Key characteristics

Facade



Boundary treatments



Low to medium hedgerow.



Low rise limestone wall.



Low rise stone wall.

Roofing



Grey slate tile



Red clay tile

Doorways



Wood panelled door with open porch cover.



Wood panelled door with letter-box.



White wooden door with detailing.

Windows



Timber sash windows with black lintel and brick sill.

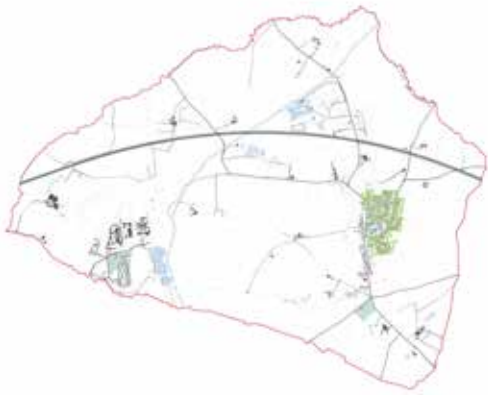


Timber sash windows.



Double glazed windows.

CA2 BARBY RESIDENTIAL



The Barby Residential Character Area largely includes post war cul-de-sacs in a variety of building layouts and materials (traditional and modern). The character area includes two Listed Buildings interspersed with more recent development and infillings.



Figure 58: Examples of architectural styles within the character area

CA2

Land use	Mainly residential buildings from the post war era, with two Listed Buildings.	Public realm	Largely traditional residential streets, with footpaths on either side.
Pattern of development	Typically short cul-de-sacs, formed of 20th-21st century development.	Materials	Mix of red brick buildings with local stone, white weatherboarding offering variations. Predominately black clay roof tiles and brick chimney stacks.
Building line	Building lines and plots within the same cul-de-sacs are consistent, though vary between different cul-de-sac developments. Plots are smaller and denser than elsewhere in the Barby village.		
Boundary treatment	Boundary treatments between properties consist of tall hedges. The front gardens typically front straight onto footpaths with no boundary treatment.		
Heights & roofline	Building heights are typically two story in height. Chinmey stacks and dormers punctuate the roofline.		

Figure 59: Table of characteristics within the Barby Residential Character Area

Key characteristics

Facade



Boundary treatments



Roofing



Doorways



Windows



CA3
Daventry Road (Barby)



The Daventry Road (Barby) Character Area consists of residential linear development along Daventry Road (Barby), with rows of two storey terraced houses to the west, and single storey semi-detached bungalows to the east.



Figure 60: Examples of architectural styles within the character area

CA3

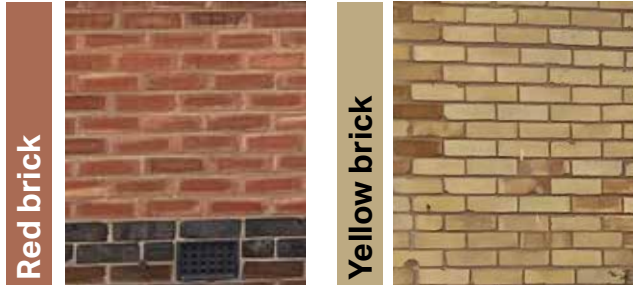
Land use	Mainly residential buildings, with Barby C of E primary school.	Materials	Mainly red and yellow brick buildings with some off white render and weatherboarding offering variations. Predominately red roof tiles and brick chimney stacks.
Pattern of development	Linear development where the buildings follow the lines of the roads.		
Building line	The building lines are set back a short distance from the road, consistent with small amounts of variation.		
Boundary treatment	Boundary treatments include natural hedge, with some examples of timber fencing.		
Heights & roofline	Buildings to the west of Daventry Road (Barby) are terraced and two storey, while to the east are one storey bungalows.		
Public realm	Tarmac pavements on either side of the road with grass verges providing a buffer to the building plots.		

Figure 61: Table of characteristics within the Daventry Road (Barby) Character Area

CA3

Key characteristics

Facade



Boundary treatments



Low brick wall



Timber fencing with medium hedge



Medium high local stone wall

Roofing



Doorways



Glass panelled front door



White door with entry porch



Panelled door with transom window

Windows



Bay window



White window with stone detailing



Dormer window

CA4 ONLEY RESIDENTIAL



The Onley Residential Character Area covers the small amount of residential development arranged in a looped cul-de-sac with regular and formal plot layouts and building set backs. The residential units, originally provided by the Home Office for prison officers, are now privately owned.



Figure 62: Examples of architectural styles within the character area

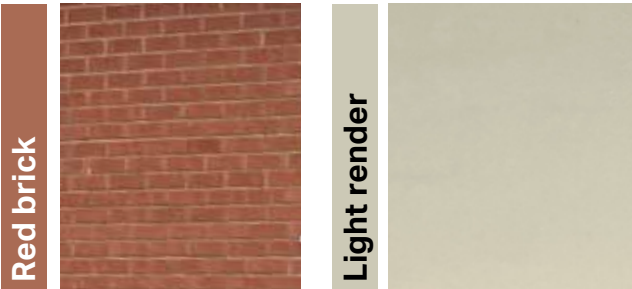
CA4

Land use	Mainly residential buildings.	Materials	Mix of red brick and light coloured brick buildings, with combinations of light render and weatherboarding. Roof tiles are typically black clay tile.
Pattern of development	Cul-de-sac development formed of 20th-21st century development.		
Building line	Building lines are consistent and are set back with front gardens and driveways.		
Boundary treatment	There are minimal boundary treatments, with some examples of low brick wall, and medium timber fencing.		
Heights & roofline	Building heights are typically two story in height. Chinmey stacks punctuate the roofline.		
Public realm	Footpaths on either side of the road with grass verges on one side providing a buffer to the pavements.		

Figure 63: Table of characteristics within the Onley Residential Character Area

Key characteristics

Facade



Boundary treatments



Medium timber fencing



Low rise brick wall.



Low medium hedge

Roofing



Doorways



White door with side panel



Enclosed pitched opaque porch.



Enclosed pitched porch.

Windows



Bay window



Double glazed window



Dark timber window.

CA5 PRISON COMPLEX



The Prison Complex Character Area includes the prison sites adjacent to the Onley village. The site was used during and after World War II, firstly as a supply depot, then as a prisoner of war camp.



Figure 64: Aerial view of the prison complex sites at Onley. (1) Rainsbrook Training Centre, (2) HMP Onley, (3) HMP Rye Hill



Figure 65: HMP Rye Hill (above), HMP Onley (below).
Source: <https://www.bbc.co.uk/news>

CA6
OPEN COUNTRYSIDE



The Open Countryside Character Area includes agricultural fields, the Oxford Canal, larger farmsteads, Barby garden centre, two marinas, and Rugby polo club. These area all dispersed through the parish.



Figure 66: Examples of the 'Open Countryside' character area



**Design Guidelines and
Codes**

04

4. Design guidelines and codes

This section sets out the Design Guidance and Codes that support the Neighbourhood Plan. This design guide is in addition to, and should be read in conjunction with, national and local policy and guidance on design.

Development in the Neighbourhood Area should demonstrate how best practice design guidance contained in national and local policy and guidance documents, including this design guide, has been considered in the layout, architectural and landscape design.

4.1 Introduction

This section is divided into two parts. The first is a set of key elements to consider when assessing a design proposal. These are presented as general guidance which should be considered by developers and their design teams who should provide clarification and explanation as necessary.

The second part is the design guidance and codes, setting out the expectations that are specific to the context of the Barby and Onley Neighbourhood Area. The Design Guidance and Codes apply to the whole Neighbourhood Area. The codes are divided into three sections by theme, as shown on this page, each one with a different number of subsections.

- **LS:** Landscape setting
- **LB:** Layout and buildings
- **SF:** Sustainable futures

The guidance advocates for character led design which responds to, and enhances the landscape and the neighbourhood area's character. It is important that new development responds to local context and enhances the "sense of place" whilst meeting the aspirations of residents.

4.2 Part 1: General Design Considerations

As an initial appraisal, there should be evidence that development proposals have considered and applied the following general design principles.

Built Form

- Development should respect surrounding buildings in terms of scale, height, form, and massing;
- Development should retain and incorporate important existing landscape and built form features into the development which add richness;
- Buildings should front onto the streets and avoid having blank facades that hinder activity and movement;
- Buildings should overlook public spaces to ensure natural surveillance;
- Development should propose a combination of soft and hard boundary treatments in keeping of the character of the neighbourhood area;
- Development should propose designs that create different levels of enclosure along the streetscape to offer visual interest;
- Development should propose designs that allow for relatively irregular building lines and setbacks to match the surrounding context;
- Buildings located at corners and crossroads could play an important role in navigation, acting as landmarks. For this reason, the massing of those buildings could be slightly larger than the surroundings to help them stand out;
- Development should propose a mix of housing to include a range of house types and sizes to allow for a variety of options and bring balance to the population profile;
- Infill development should complement the street scene into which it will be inserted.



Figure 67: Terraced houses along Rugby Road, providing a variety in roofline with chimneys and detailing.



Figure 68: Streetscape within Onley with setback buildings, wide footpaths and grass verges.

Access and movement

- Development should demonstrate synergy with, and be complementary to, the existing settlement in terms of physical form, movement/access;
- Development should propose streets that filter traffic and speed. For that reason, a legible hierarchy should include primary, secondary, tertiary roads and edge lanes;
- Development should propose street design that meets the needs of all users; pedestrians, cyclists, and those with disabilities;
- Development should propose streets that incorporate opportunities for landscaping, green infrastructure, and sustainable drainage;
- Development should integrate with existing access; Public Rights of Way (PRoW), streets and circulation networks;

- Development should promote walking and cycling;
- Development should aim to provide bus stops along primary roads where appropriate, to encourage the use of public transport.

Parking and utilities

- Parking should be well integrated in design and should not dominate the public realm;
- High quality and well designed soft landscaping, hedges, hedgerows and trees should be used to increase the visual attractiveness of parking and enhance the character of the parish;
- Driveways must be constructed from permeable materials to minimise surface water run off and help mitigate potential flooding;



Figure 69: Example of public footpaths, Rectory Lane



Figure 70: Example of driveway and garage, The Green

- Parking garages must not dominate the appearance of dwellings and must not reduce the amount of active frontages to the street;
- Adequate provision should be made for cycle parking, on public and private land;
- Electric vehicle charging points, both for off street and on street parking, should be integrated into the design;
- Adequate provision should be made for bin storage, including areas for waste separation, holding and recycling;
- Lighting schemes should be in place to promote safe movements, whilst ensuring the protection of dark skies.

Green infrastructure and landscape

- Development should provide adequate open space in terms of both quantity and quality;
- Development should avoid threatening existing ecological assets within the parish;
- Development should protect existing green assets, of any form, whilst proposing new ones where appropriate;
- Development should identify existing biodiversity corridors and contribute to their preservation and enhancement;
- Development should propose adequate private/ communal amenity space to meet the needs of the population;
- Development should gain a good understanding of the landscape context and character of the parish and propose a design that does not undermine the existing qualities of the area;



Figure 71: Open space at Onley Park, with mature trees.



Figure 72: View from an open field at Barby.

- Sustainable Urban Drainage Systems (SUDs) could be part of the overall landscape infrastructure and improve the environment;
- Innovative ideas to enhance wildlife and biodiversity, for example integrating bee bricks in buildings, are encouraged;
- Development should protect all the existing habitats, green & blue features and integrate them into the design;
- Maximise opportunities for the restoration, enhancement and connection of natural habitats;
- Development should promote green links (cycle ways, footpaths, tree lined streets) into the new design to connect with existing neighbourhoods within the parish and surrounding settlements.

Views and Landmarks

- Development should relate sensitively to local heritage buildings, topography/ landscape features, countryside setting and long distance views;
- Development should preserve long distance views towards the open fields and countryside;
- Development should preserve key short distance views towards important landmarks or heritage assets;
- In particular, the 12 important views identified in the Barby and Onley Neighbourhood Development Plan, shown on Figure 24, should be considered.

Character Setting

- The historical relationships between the settlements, church, pub, woodlands, mature trees and other facilities should be clearly defined;
- Protect the character of the parish by protecting views to the surrounding countryside, and into the parish.

Relevant Planning Guidance¹

- Residential extensions and alterations design guide SPD
- Northamptonshire Parking Standards SPD
- Biodiversity SPD
- Specialist Housing SPD

<https://www.westnorthants.gov.uk/supplementary-planning-documents-spds-other-guides-and-village-design-statements/northampton>

4.3 Part 2: Key Design Guidance

The following set of design guidance and codes forms the main substance of this document. These codes set out the expectations that are specific to the context of the Barby and Onley Neighbourhood Area. The use of photographs and diagrams help to reflect good precedents, demonstrate design issues for consideration and further highlight the application of each design.

The guidance advocates for character led design which responds to and enhances the landscape and village character. It is important that new development responds to local context and enhances the “sense of place” whilst meeting the aspirations of residents.

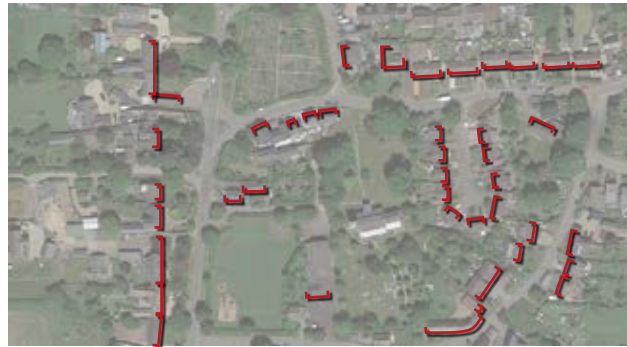
Theme	Prefix	Code
Layout and buildings (LB)	LB01	Pattern of development
	LB02	Plots and building layouts
	LB03	Building height and roofscape
	LB04	Housing mix
	LB05	Extensions, conversions and infill
	LB06	Preserving and promoting the local vernacular
Landscape setting (LS)	LS01	Green Infrastructure
	LS02	Connectivity
	LS03	Wildlife and biodiversity
	LS04	Development edges in the rural landscape
	LS05	Boundary treatments
Sustainable futures (SF)	SF01	Sustainable buildings
	SF02	Water management (SUDS)
	SF03	Water storage and servicing

LAYOUT AND BUILDINGS (LB)

LB01 Pattern of development

An understanding of the existing patterns of growth in Barby and Onley combined with an efficient use of land are required for any new development. Any new development should adhere to the following principles:

- New developments must demonstrate an understanding of the scale, building orientation, enclosure, and rhythm of the surrounding built environment;
- Development occurs in a linear pattern along Daventry Road (Barby) with gaps between properties, which limits the impact on views into the countryside and keeps the density low to preserve the rural character. New development should preserve this linear settlement pattern.
- The form and layout of new streets should align with historic ones where possible, with a preference towards interconnected street networks.



CA1 Barby Village Centre

Building lines in the Barby Village Centre area are continuous and regular, consisting of linear street patterns, which creates a strong sense of enclosure.



CA2 Barby Residential

The building lines within the Barby Residential area are generally uniform in orientation. Houses typically are dispersed with wide setbacks, front gardens and driveways.



CA3 Daventry Road (Barby)

Building lines in the Daventry Road (Barby) area are continuous and regular, and consists of a linear street pattern.



CA4 Onley Residential

Buildings within the Onley Residential area are arranged in a looped cul-de-sac with regular, formal plot layouts and setbacks.

LB02 Plots and building layouts

The parish owes much of its character to its historic evolution, in its buildings and settlements. The agricultural origins of the settlement is evident in CA1 Barby Village Centre, with larger plots and detached properties. These were then followed by 1960s post war development which later took shape around the original village periphery, and can be seen within CA2 Barby Residential. New developments should respect the particular plot layout and density of each settlement of Barby and Onley, in order to contribute positively to their character. In particular:

- Buildings in **Barby Village Centre** Character Area should be arranged to enable or preserve important views such as the tower of St Mary's Barby Church and green features, including the open countryside.
- Development should be considered strategically at the settlement level and should not be considered in isolation;

- Any gaps in between buildings should be retained and any development which propose to infill of these spaces should be avoided. This maintains visual connections with the open countryside;
- Development should adopt the enclosure characteristics demonstrated in different parts of the neighbourhood area. New development should strive to fit in with the existing settlement morphology by adopting similar characteristics;
- Layout, clustering and massing should take precedent from the best examples of development within the surrounding context. For example, within **Barby Village Centre** Character Area, plot lines can be more informal and organic in its orientation and building lines, to reflect the historic nature of the Barby Village Centre.

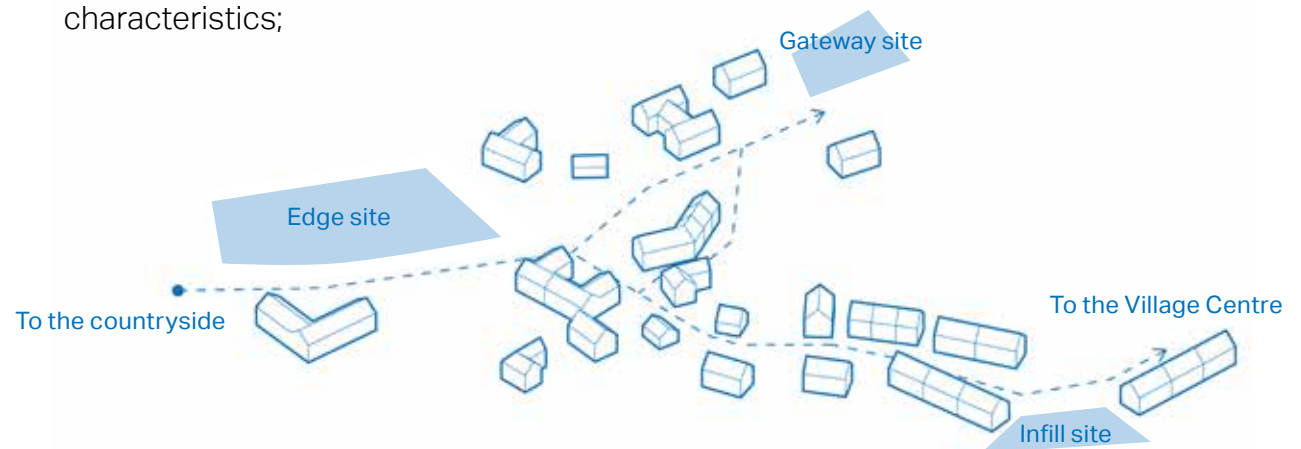


Figure 73: An indicative diagram highlighting the types of development sites in a rural village

LB03 Building height and roofscape

Creating variety and interest in the roofscape is an important element in the design of attractive buildings and places. Building heights of one and two storeys prevail in the Neighbourhood Area. The analysis on building height and roofscape across different parts of Barby and Onley has been highlighted in the earlier Character Study in Section 3.

The roofscape within Barby and Onley is generally consistent with pitched roofs and brick chimneys. The current roof styles in the area are gable and hipped. Some of the historic and listed buildings have a steeper pitched thatched roof, which could be used as a precedent in newer developments if done sensitively using appropriate materials. Non residential buildings and structures should be designed to a maximum height that is generally consistent with the surrounding buildings. The existing rooflines are sensitively designed so that the leafy background of the neighborhood area setting is maintained.

There are certain elements that serve as guidelines in achieving a well designed roofscape:

- Design the scale and pitch of the roof to be in proportion with the dimensions of the building, and avoid overly complex designs;
- Roof forms should be in keeping with the surrounding context to respect the local character;
- Ensure the height of development responds to the surrounding buildings, street width and sense of enclosure, topography and mature vegetation;
- Roof materials of existing village buildings include a variety of grey slate and clay tiles, any new developments should adhere to this;
- Any dormers should be in proportion to the dimensions and roof of the building.



Figure 74: Roofline within Barby, with brick chimneys creating variety and rhythm, the low-lying nature of the roofscape allows for mature vegetation to create a leafy backdrop.



Figure 75: Roofline within Onley, with brick chimneys creating variety and rhythm.

LB04 Housing mix

There is a good mix of detached, semi-detached, and terraced housing already existing within the Barby and Onley Neighbourhood Area, so it is expected that any new development should propose to maintain the balance.

- It is essential that new development contributes to sustainable development, including supporting strong, vibrant and healthy communities by providing a supply of housing that meets the needs of present and future generations;
- House extensions and conversions which proposes additional bedrooms should be carefully considered. Adding bedrooms to a house could cause imbalance in the housing mix within the Neighbourhood Area;
- The guidelines set out by the National Planning Policy Framework (NPPF) empathises the need for a mix of housing based on current and future demographic trends and the needs of different groups in the community.

Please refer to *Section 5.0 Affordable Housing* from the Housing Supplementary Planning Document by Daventry District Council for more information.¹

¹ <https://www.daventrydc.gov.uk/EasySiteWeb/GatewayLink.aspx?allid=46925>



Figure 76: Example of housing mix within Barby with terraced houses



Figure 77: Example of housing mix within Barby with semi-detached houses



Figure 78: Example of housing mix within Onley with semi-detached houses

LB05 Extensions, conversions, and infill

As previously described, Barby and Onley has a rich history and features countless historic buildings. Some of these buildings have successfully been converted to residential use and therefore there are positive examples of conversion within the Neighbourhood Area.

Extensions and modifications to dwellings can either revitalise an older building and enhance the streetscape, or on the other hand, adversely impact the appearance of a building and its local context.

The Planning Portal¹ contains more detailed information on building extensions and modifications, setting out what is usually permitted without planning permission (permitted development) as well as what requires planning permission.

¹ <https://www.planningportal.co.uk/permission/common-projects/extensions/planning-permission>

The following principles should be considered by development involving extensions, conversions and infill:

- Complement the street scene into which it will be inserted. Points of continuity in the streetscape can be created by material / colour palette, roofscape features (such as chimneys and ridge/eave heights), scale and massing;
- The surrounding countryside plays a key role in the rural setting of Barby and Onley, so any ideas which proposes infill should maintain views outward;
- Consider the materials, architectural features, window sizes and proportions of the existing building and respect these elements to design an extension that matches and complements the existing building; (cont.)

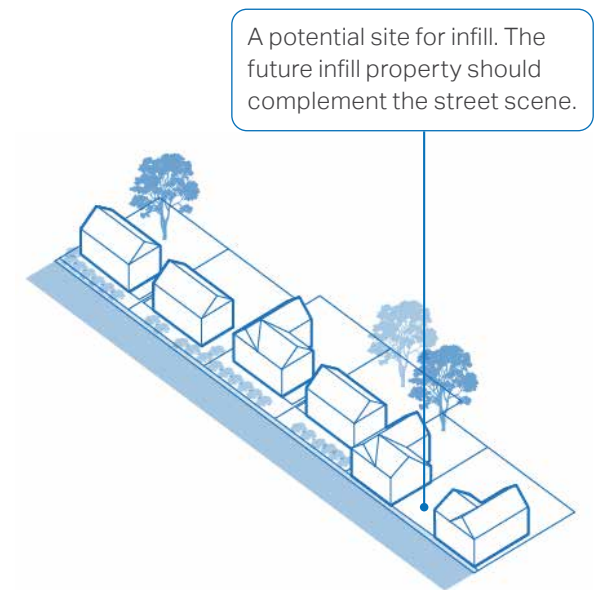


Figure 79: An indicative site before infill.

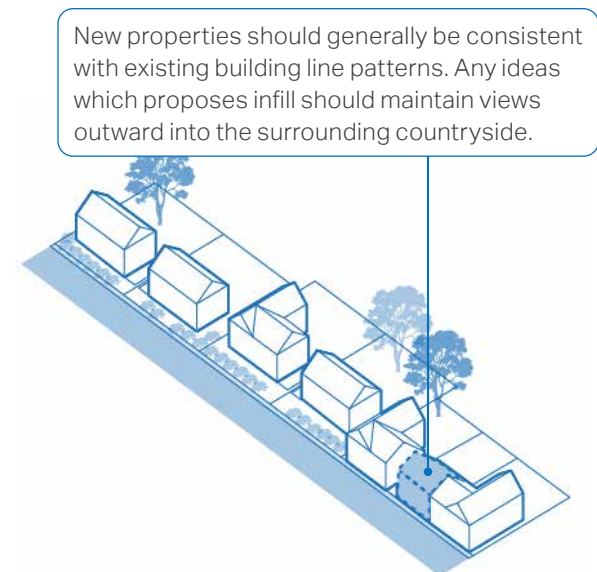


Figure 80: An indicative site after infill.

- The original building should remain the dominant element of the property regardless of the scale or number of extensions. The newly built extension should not overwhelm the building from any given viewpoint. The chapel situated on The Green is a successful example of retaining the importances of the original building (see Figure 81);
- Side extensions should be set back from the front of the main buildings and retain the proportions of the original building. This is in order to reduce any visual impact of the join between existing and new;
- Extensions should not result in a significant loss to the privacy, solar access and amenity of neighbouring properties or the streetscape.



Figure 81: Example of successful conversion within Barby, which is set back from the front of the main building.



Figure 82: Positive example of side extension which matches and complements the original building.



Figure 83: Negative example of a conversion which uses a out of context material and colour palette.



Figure 84: Negative example which uses a bulky scale and massing, and an out of context architectural style.

LB06 Preserving and promoting the local vernacular

Barby and Onley's built heritage underpins the character of its built form as an area with medieval roots within Northamptonshire. Many of the cob constructed thatch cottages across Barby Village are unique local vernacular for this part of Northamptonshire. These, alongside other Listed Buildings across the parish, the Grand Union and Oxford Canal Conservation Area, and Scheduled Monuments, such as the abandoned medieval village of Onley and the Barby motte castle, act as landmarks which creates a unique identity for the Neighbourhood Area.

It is pertinent that future developments are sympathetic to the design and historical significance of these structures, and that any important views are protected.

Some design guidelines are:

- Any development should be rooted in Barby and Onley's historical architectural character;
- Any Listed Buildings (see Figure 8) should be protected and adequately maintained, as they can act as effective landmarks for navigation whilst adding to the quality of the built environment;
- Important views and vistas towards the 13th century St Mary's Barby Church and other historic assets, landmarks and historically important streets should be respected by new and infill developments. Long distance views from historic assets towards the open countryside should also be protected.



Figure 85: Example of local buildings and building materials reflecting Barby and Onley's historic architectural character.

Fenestration and architectural details

The intricacies of the architectural features and detailing in Barby and Onley are locally distinctive and define the unique built character. These elements provide visual interest and reduce the scale and bulk of the buildings. Details such as flanking red brick chimney stacks are commonly featured within local buildings. More details on specific architectural key characteristics in each character area has been set out in Section 3. Character Study.

The following codes should be referred to when designing fenestration and detailing in all parts of Barby and Onley:

- Any new development should be contextualised with the use of local materials. References to the historic Listed Buildings can be made to ensure the appropriate use of local stone, such as ironstone, sandstone or limestone and detailing;
- Include locally distinctive fenestration and detailing in new development, drawing on examples from the listed buildings within each settlement. It is best for developments to avoid mixing historic styles;
- Development involving multiple houses should ensure a variety of detailing is utilised across the development to provide visual interest along the street and avoid homogeneous building designs. The houses at Brackendale Drive portrays a good variation in architectural details and thus results in a heterogeneous streetscape;
- Include detailing on roofs and façades to minimise the bulk and scale of buildings, for example with the use of flanking red brick chimney stacks for the roofs and with detailing around fenestration and across walls.



Figure 86: Example of fenestration and detailing within Barby



Figure 87: Example of fenestration and detailing within Onley

LANDSCAPE SETTING (LS)

LS01 Green infrastructure

The diverse Northamptonshire landscape characteristics are prevalent in and around Barby and Onley, allowing the Neighbourhood Area to benefit from an attractive, green setting. As described in the Northamptonshire Current Landscape Character Assessment, the settlements of Barby and Onley are located within the 'undulating hills and valleys' and 'broad unwooded vale' character area.¹ The character areas consists of mixed farming landscapes, deciduous woodlands, copses, hedgerow network, arable and pastoral farmland, among others. More analysis on the landscape and spatial setting across different parts of Barby and Onley has been highlighted in the earlier Place Analysis in Section 2.4.

¹ <https://www.northampton.gov.uk/downloads/file/12149/08-northamptonshire-current-landscape-character-assessment>

In the case of Barby and Onley, the abundance of mature trees and wooded areas is one of the neighbourhood area's greatest assets. Not only do they provide environmental and wellbeing benefits, they add life to the landscape and help shape and add character to the number of Local Green Spaces. Any new development should consider the following guidelines:

- New design proposals, of any scale, should be aligned with the high level strategy for creating a robust green network of new or improved green corridors. New developments should link existing and newly proposed street trees, green verges, front and rear gardens, open spaces, habitat sites, rivers and the countryside and chalk streams together through those green corridors; (cont.)



Figure 88: Barby and Onley's surrounding countryside.



Figure 89: Tree lined footpaths within Barby.

- Existing locally designated open spaces, and the Barby village allotment should be protected. Any new developments should seek to provide aligned connections to these open spaces to improve access;
- Preserve existing vegetation, native mature trees, and hedgerows by incorporating them into the new landscape design and using them as landmarks, where appropriate;
- New street trees should be provided wherever possible;
- Conserve the rural setting of settlements and control development along roads, ensuring that new buildings and development are sensitively integrated into the landscape;
- Where new development is adjacent to any green corridor, either green or blue assets, it is important it fronts onto it to maximise open views.

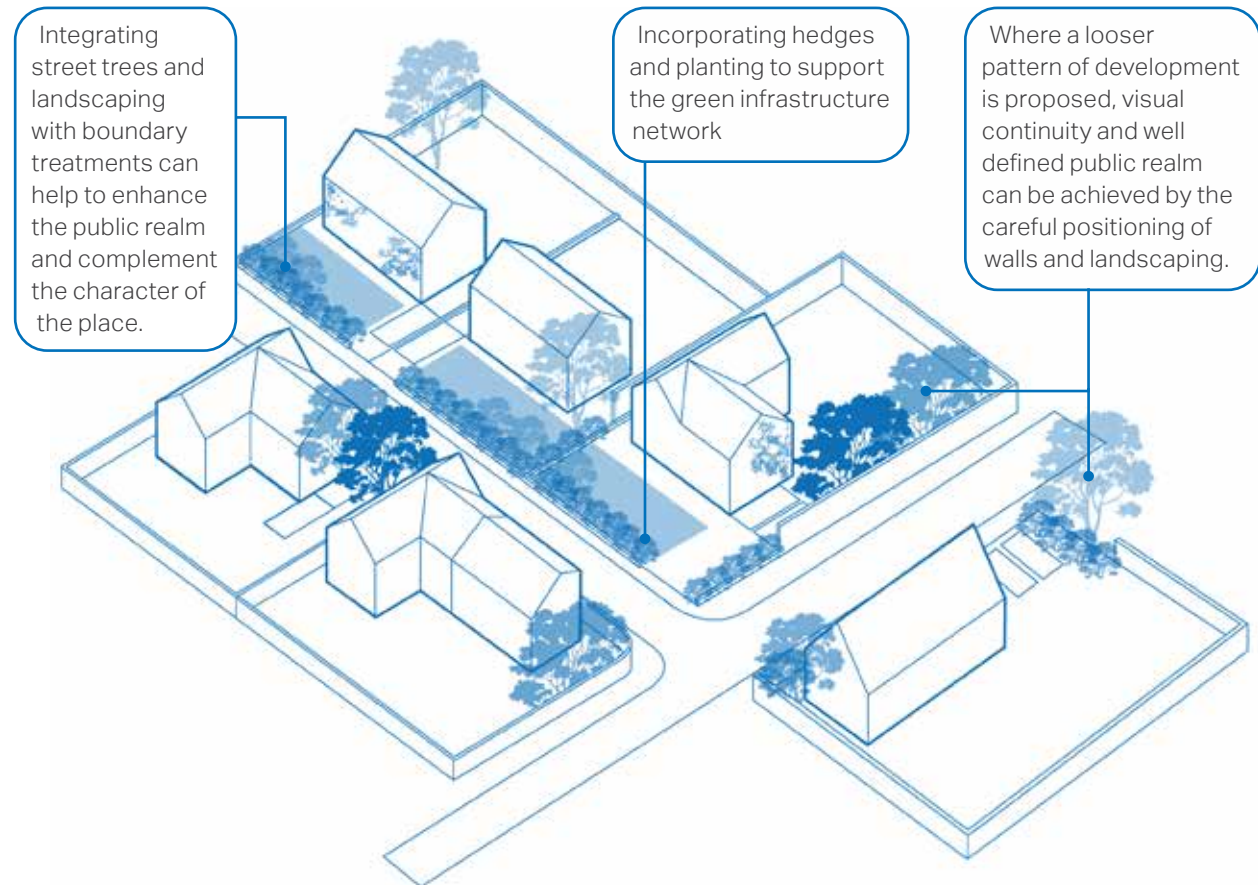


Figure 90: Diagram showing trees and landscaping which complement the public realm and create a sense of enclosure

LS02 Connectivity

The settlement pattern of Barby consists of linear organic streets and cul-de-sacs, interspersed with historic areas, in contrast to Onley's looped cul-de-sac. It is vital that these distinctive settlement areas are well integrated and connected. While considering the lack of connectivity between the settlements of Barby and Onley, public transport and other sustainable transport methods such as walking and cycling are encouraged. The following guidelines should help create places that are easy to move through and around.

- New footpath links should be provided wherever possible, and these must connect up with the existing walking network, placing the priority on the pedestrian, thereby encouraging people to favour active travel over the car;
- The design of the street network should respond to the topography and natural desire lines;
- Streets and footpaths should be laid out in a permeable pattern, allowing for multiple connections and choice of routes, particularly on foot. Any cul-de-sac should be relatively short and provide onward pedestrian links;
- Development should design internal streets and paths that are well connected and direct, responding to any desire lines;
- New streets must be designed as a 'space' to be used by all. Existing streets could be retrofitted for the same purpose and to discourage speeding, especially with the issue of speeding on Rugby Road and Daventry Road (Barby);
- New development schemes should provide an appropriate amount of accessible footpaths, and should consider design value and the needs of all users.

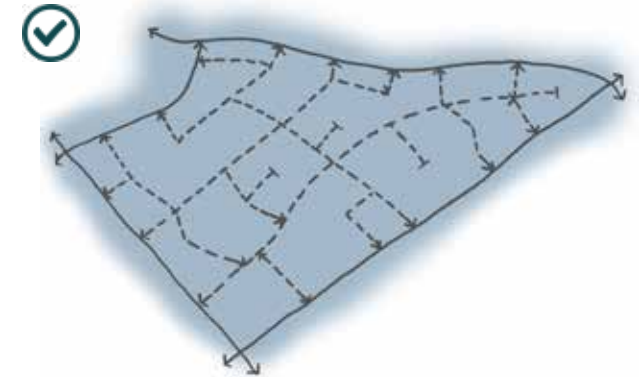


Figure 91:
A connected layout, with some cul-de-sacs, balances sustainability and security aims in a walkable neighbourhood

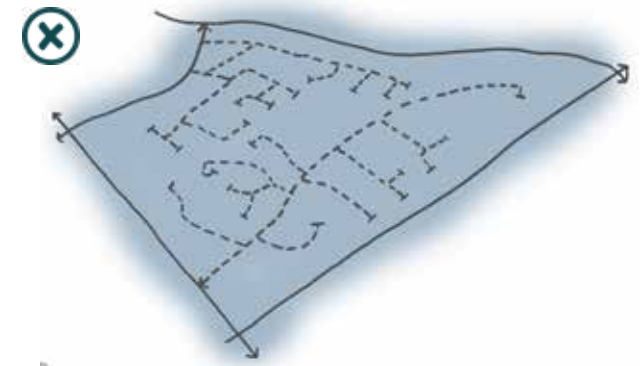


Figure 92:
A layout dominated by cul-de-sacs encourages reliance on the car for even local journeys

LS03 Wildlife and biodiversity

The surrounding landscape of Barby and Onley contains a rich variety of natural habitats, whilst the parish landscape also includes many smaller areas that support rich biodiversity. This code focuses on design guidelines and suggestions that could be implemented to enhance wildlife and biodiversity:

- New developments should demonstrate a 10% increase in biodiversity¹ on or near development sites in alignment with national legislation on Biodiversity Net Gain;²
- New developments should prioritise tree planting, identify existing biodiversity corridors, and contribute to their preservation and enhancement;
- Consider how the layout can create wildlife corridors. For example, the layout of roads, front and back gardens, and green spaces;
- Blue assets can also contribute to biodiversity connectivity. Therefore, the Oxford Canal, and any other existing ditches and streams should be considered in design proposals. This may be in the form of ponds or pollinator gardens when planning for wildlife corridors;
- Trees and hedgerows should be incorporated into public realm and other open spaces as well as private development where appropriate;
- Biodiversity interventions in the public spaces could help improve the environment as well as inform and educate the community about the existing species and habitats. For instance, hedgehog streets, wildlife friendly show gardens, community forests, or designated areas within green space for wildlife could raise awareness about biodiversity; (cont.)

¹ Environment Act 2021, Schedule 7A Part 1: <https://www.legislation.gov.uk/ukpga/2021/30/schedule/14/enacted>

² This refers to "the delivery of measurable improvements for biodiversity by creating or enhancing habitats in association with development" (National Design Guide, p.28)

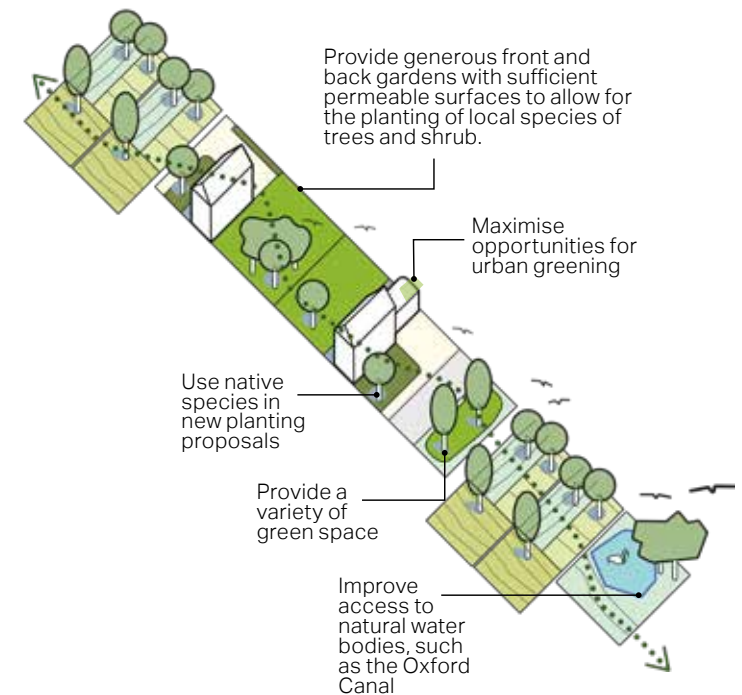


Figure 93: Illustrative diagram showing a green and blue network

Please refer to the Biodiversity SPD by Daventry District for more information.¹

¹ <https://www.daventrydc.gov.uk/EasySiteWeb/GatewayLink.aspx?allid=44643>

- Provision should be made for new open spaces and wildlife rich streets that connect communities with nature from the doorstep to key green infrastructure;
- Incorporate wildlife friendly features that support movement and habitat. Bird or bat boxes, bee bricks and bug hotels can be installed to enhance biodiversity and wildlife;
- Any new development should create additional green and blue infrastructure that connects wildlife sites and incorporates water management features;
- New development should conserve existing native trees, shrubs, and hedgerows, and incorporate any green asset within their design, avoiding any unnecessary loss of flora;
- It is important that dark skies are protected from inadequately positioned and unshielded street lighting.



Figure 94: Example of a bird feeder located on a grass area opposite a public footpath.



Figure 95: Example of a bat box placed in the front or rear garden of a property.



Figure 96: Example of a bug hotel that could be placed in the front or rear garden of a property.



Figure 97: An example of a Hedgehog tunnel within a garden fence.

LS04 Development edges in the rural landscape

The gateways through country lanes into Barby and Onley Village settlements are a defining character of the Neighbourhood Area. It is essential that existing vegetation that forms boundaries between settlements and the landscape should not be undermined by any new development. In particular, any new development set on the edges of village settlement boundaries needs to respect the existing natural setting and aim to enhance it.

The following codes are specific to development in the **Barby Residential** and **Daventry Road (Barby)** Character Areas on how new development should treat rural development edges, including:

- Abrupt edges to development with little vegetation or landscape should be avoided. Instead, a comprehensive, layered landscape buffering should be encouraged;

- Edge of settlement development should gradually transition to the surrounding landscape context, with a soft, low density edge. Building elevations along the existing settlement edge should connect into it and should provide an attractive and positive frontage;
- Development adjoining the countryside should face onto countryside with appropriate setback to improve natural surveillance. New developments can incorporate edge lanes and green corridors into street designs, which can also provide active travel options.

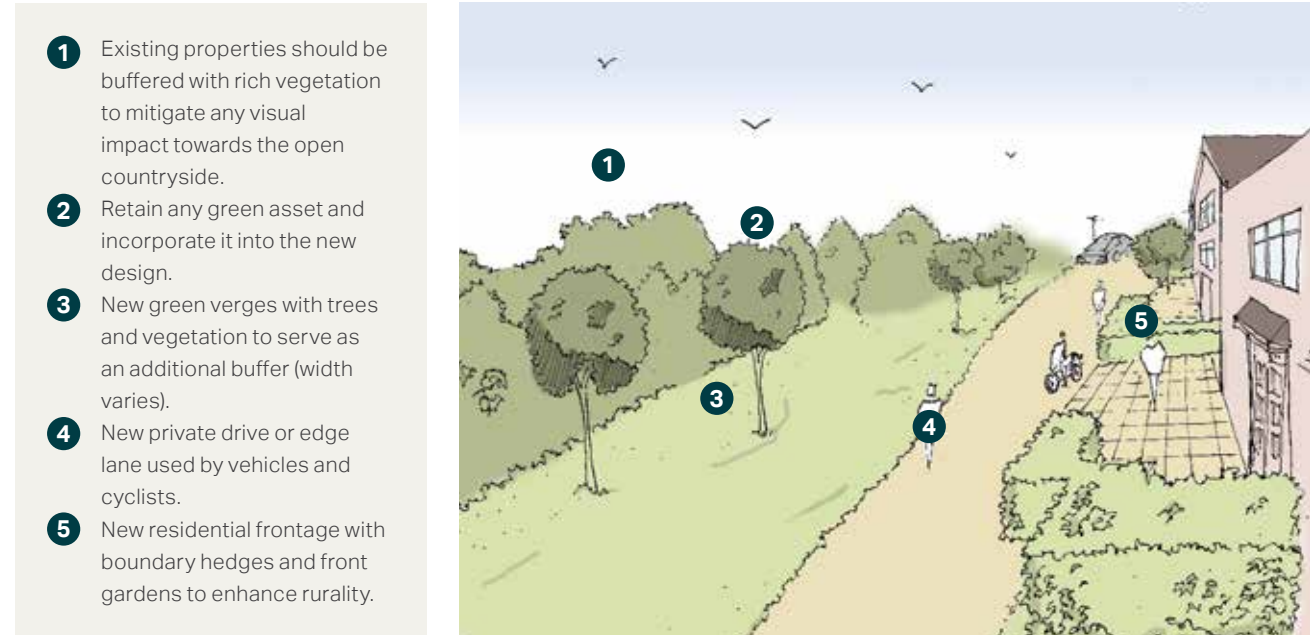


Figure 98: Sketch to illustrate how new development can treat the rural edges by facing onto them improving natural surveillance and allowing for open views to the countryside.

LS05 Boundary treatments

Barby and Onley has a number of boundary treatments that unifies the area and gives it a distinctive character. These boundary treatments are enhanced by the green setting and the presence of mature trees, which should be preserved. Quality boundary treatments are a key design element in new development, particularly when they are facing onto green open spaces, and the perimeter of properties are visible to others. Boundary treatments should reinforce the sense of continuity of the building line and help define the public realm, appropriate to the character of the area.

The use of appropriate forms of boundary treatments contributes to the rural and historic character of the Neighbourhood Area. They should be mainly continuous hedges and local stone walls, made of traditional materials found in Barby and Onley.

The following guidelines should be considered by any new development within the Neighbourhood Area:

- Boundary treatments should reflect forms and materials found throughout the area. Local ironstone walls are predominant within the area and add to the rural character. Gates can also be incorporated into the design, where appropriate;
- It is preferred that hedges are used as boundary treatments as 'living boundaries', where possible. An example of hedging found within the parish is laurel, which provides a great habitat for garden birds and creates a year round dense screen;
- New development should reuse and integrate existing boundaries in the form of hedges or stone walls where possible while offering a satisfactory level of natural surveillance.



Figure 99: Example of Laurel Hedging found within Barby



Figure 100: Example of local stone wall, which are unique to the area and enhance the rural character.

SUSTAINABLE FUTURES (SF)

SF01 Sustainable buildings

Any new housing in Barby and Onley should mitigate its impact on the environment and demonstrate that it is responding to climate change with the highest standards of insulation and energy conservation.

- Where existing buildings are being converted or extended every effort should be made to introduce energy saving measures and new technologies to make the building more efficient and sustainable.
- The use of green or brown roofs and/or living walls is encouraged. These can assist with insulation and summer cooling requirements. They can also be readily integrated with solar systems and have even been shown to increase the efficiency of PV cells on hot summer days.
- New housing should demonstrate how rainwater and greywater will be stored and reused to make captured water supplies more efficient.
- The installation of water butts within new residential developments is encouraged to collect rainwater from roofs and reduce the overall rainwater run off impact of any development; and
- Whenever possible, developments should aim to reuse existing materials or procure reclaimed and recycled materials from local suppliers. Building materials made from construction and demolition waste are preferred to primary aggregates. Many types of construction waste can be used for these purposes including soil, asphalt, concrete, bricks and tiles. In conversion schemes roof tiles and slates should be carefully stored and reused. In addition, priority should be given to materials that can be deconstructed and reused at the end of the building's usable life.

Implementing eco design into homes

The following guidelines and suggestions focus on improving the energy efficiency of properties through the implementation of eco design principles.



Figure 101: Sustainable design features

Existing homes

- 1



Insulation
in lofts and walls (cavity and solid)
- 2



Double or triple glazing with shading
(e.g. tinted window film, blinds, curtains and trees outside)
- 3



Low carbon heating
with heat pumps or connections to district heat network
- 4



Draught proofing
of floors, windows and doors
- 5



Highly energy efficient appliances
(e.g. A++ and A+++ rating)
- 6



Highly water efficient devices
with low flow showers and taps, insulated tanks and hot water thermostats
- 7



Green space (e.g. gardens and trees)
to help reduce the risks and impacts of flooding and overheating
- 8



Flood resilience and resistance
with removable air back covers, relocated appliances (e.g. installing washing machines upstairs), treated wooden floors

Additional features for new build homes

- A



High levels of airtightness
- B



Triple glazed windows and external shading
especially on south and west faces
- C



Low carbon heating
and no new homes on the gas grid by 2025 at the latest
- D



More fresh air
with mechanical ventilation and heat recovery, and passive cooling
- E



Water management and cooling
more ambitious water efficiency standards, green roofs, rainwater harvesting and reflective walls
- F



Flood resilience and resistance
e.g. raised electrical, concrete floors and greening your garden
- G



Construction and site planning
timber frames, sustainable transport options (such as cycling)
- H



Solar panel
- I



Electric car charging point

SF02 Water management (SUDS)

Flooding within Barby and Onley is mainly caused by run off from the fields, as the clay soil has low absorption properties.

It is important that any such risks are adequately managed through the application of SuDS and other methods, which are designed to manage storm water locally by mimicking natural drainage. The term SuDS stands for Sustainable Urban Drainage Systems. It covers a range of approaches to managing surface water in a more sustainable way to reduce flood risk and improve water quality whilst improving amenity benefits.

SuDS work by reducing the amount and rate at which surface water reaches a waterway or combined sewer system. Usually, the most sustainable option is collecting this water for reuse, for example in a water butt or rainwater harvesting system, as this has the added benefit of reducing pressure on important water sources.

The most effective type or design of SuDS would depend on site specific conditions such as underlying ground conditions, infiltration rate, slope, or presence of ground contamination. However, a number of overarching principles that could be applied in new development are:

- Reduce runoff rates by facilitating infiltration into the ground or by providing attenuation that stores water to help slow its flow down, so that it does not overwhelm water courses or the sewer network;
- Integrate into development and improve amenity through early consideration in the development process and good design practices;
- SuDS are often also important in areas that are not directly in an area of flood risk themselves, as they can help reduce downstream flood risk by storing water upstream;

- SuDS should be designed sensitively to augment the landscape and provide biodiversity and amenity benefits.

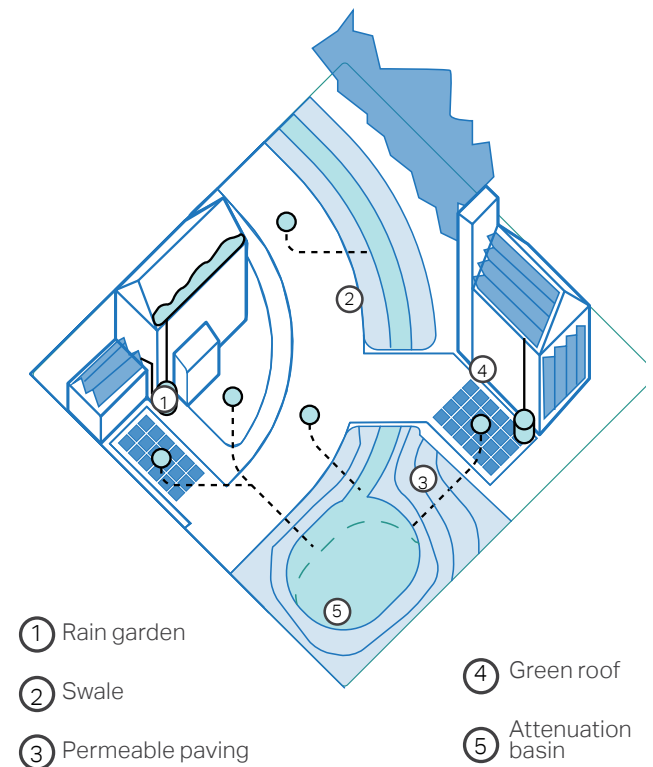


Figure 102: Diagram showing the best use of harvesting water systems rain garden, swales, permeable paving, green roofs

Permeable paving

Most builtup areas, including roads and driveways, increase impervious surfaces and reduce the capacity of the ground to absorb runoff water. This in turn increases the risks of surface water flooding.

Permeable paving offers a solution to maintain soil permeability while performing the function of conventional paving. Therefore, some design guidelines for new development are:

- The choice of permeable paving units must be made depending on the local context; the units may take the form of unbound gravel, clay pavers, or stone setts; and
- Permeable paving can be used where appropriate on footpaths, private access roads, driveways, car parking spaces (including on-street parking) and private areas within the individual development boundaries.

Regulations, standards, and guidelines relevant to permeable paving and sustainable drainage are listed below:

- Sustainable Drainage Systems - non-statutory technical standards for sustainable drainage systems¹.
- The SuDS Manual (C753)².
- Guidance on the Permeable Surfacing of Front Gardens³.

1. Great Britain. Department for Environment, Food and Rural Affairs (2015). Sustainable drainage systems – non-statutory technical standards for sustainable drainage systems. Available at: https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/415773/sustainable-drainage-technical-standards.pdf

2. CIRIA (2015). The SuDS Manual (C753).

3. Great Britain. Ministry of Housing, Communities & Local Government (2008). Guidance on the Permeable Surfacing of Front Gardens. Available at: https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/7728/pavingfrontgardens.pdf

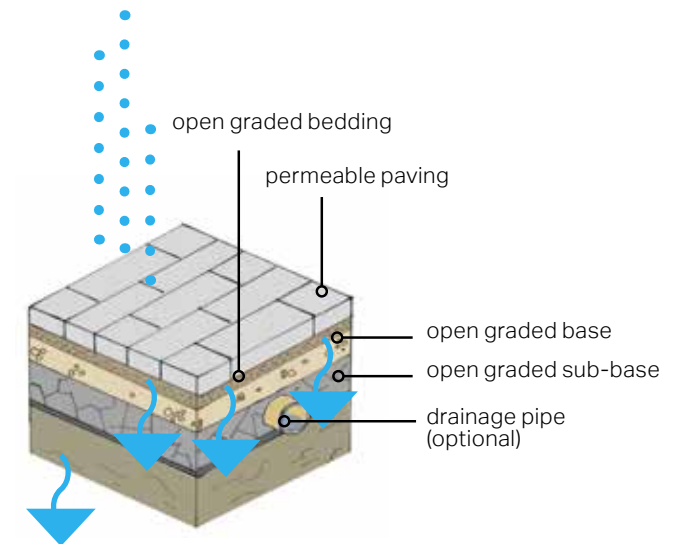


Figure 103: Diagram illustrating the function of a soak away.

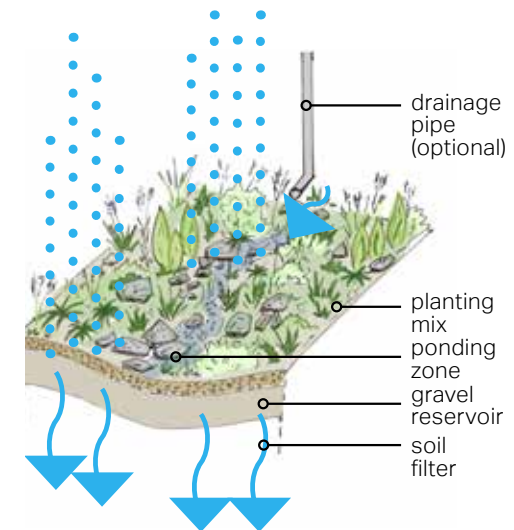


Figure 104: Diagram showing how a rain garden works.

Storage and slow release

Rainwater harvesting refers to the systems allowing the capture and storage of rainwater as well as those enabling the reuse in-site of grey water.

Simple storage solutions, such as water butts, can help provide significant attenuation. However, other solutions can also include underground tanks or alternatively overground gravity fed rainwater systems that can have multiple application areas like toilets, washing, irrigation. Some design guidelines to integrate water storage systems are:

- Consider any solution prior to design to appropriately integrate them into the vision;
- Conceal tanks by cladding them in complementary materials;
- Use attractive materials or finishing for pipes; and
- Combine landscape/planters with water capture systems.



Figure 105: Diagram illustrating rainwater harvesting systems that could be integrated into open space and residential developments. Source: <https://dps-fr.com/>

SF03 Waste storage and servicing

The following codes should be considered when designing for waste storage and servicing to improve the aesthetics of the streetscape in Barby and Onley:

- Provide waste storage at the side or rear of housing, accessed by a side or rear gate. If exceptional, waste storage can be provided at the front of housing with appropriate enclosure;
- Place bins close to the boundary and street, such as against wall, fence or hedge;
- Refer to the local architectural materials palette to consider complementary material(s) for the waste storage

enclosure;

- Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation, and minimisation where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours;
- Ensure that places are designed with management, maintenance and the upkeep of utilities in mind;
- Create a specific enclosure of sufficient size for all the necessary bins.



Figure 106: Example of successful, discreet storage design solutions for accommodating bins at the front of buildings



Checklist

05

5. Checklist

This concluding section provides a number of questions based on established good practice against which the design proposal should be evaluated.

The checklist can be used to assess all proposals by objectively answering the questions below. Not all the questions will apply to every development. The relevant ones, however, should provide an assessment as to whether the design proposal has taken into account the context and provided an adequate design solution.

As a first step there are a number of ideas or principles that should be present in all proposals. These are listed under 'General design guidelines for new development'. Following these ideas and principles, a number of questions are listed for more specific topics.

1

General design guidelines for new development:

- Integrate with existing paths, streets, circulation networks and patterns of activity;
- Reinforce or enhance the established settlement character of streets, greens, and other spaces;
- Harmonise and enhance existing settlement in terms of physical form, architecture and land use;
- Relate well to local topography and landscape features, including prominent ridge lines and long distance views;
- Reflect, respect, and reinforce local architecture and historic distinctiveness;
- Retain and incorporate important existing features into the development;
- Respect surrounding buildings in terms of scale, height, form and massing;
- Adopt contextually appropriate materials and details;
- Provide adequate open space for the development in terms of both quantity and quality.

1

General design guidelines for new development:

- Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features;
- Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other;
- Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation, and minimisation where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours;
- Positively integrate energy efficient technologies;
- Positively integrate green infrastructure in accordance with national design guidance to positively contribute to liveability, biodiversity and climate change resilience;
- Ensure that places are designed with management, maintenance and the upkeep of utilities in mind; and
- Seek to implement passive environmental design principles by, firstly, considering how the site layout can optimise beneficial solar gain and reduce energy demands (e.g. insulation), before specification of energy efficient building services and finally incorporate renewable energy sources

2

Street grid and layout:

- Does it favour accessibility and connectivity? If not, why?
- Do the new points of access and street layout have regard for all users of the development; in particular pedestrians, cyclists and those with disabilities?
- What are the essential characteristics of the existing street pattern; are these reflected in the proposal?
- How will the new design or extension integrate with the existing street arrangement?
- Are the new points of access appropriate in terms of patterns of movement?
- Do the points of access conform to the statutory technical requirements?

3

Open environmental areas, views & character:

- What are the particular characteristics of this area which have been taken into account in the design; i.e. what are the landscape qualities of the area?
- Does the proposal maintain or enhance any identified views or views in general?
- How does the proposal affect the trees on or adjacent to the site?
- Can trees be used to provide natural shading from unwanted solar gain? i.e. deciduous trees can limit solar gains in summer, while maximising them in winter.
- Has the proposal been considered within its wider physical context?
- Has the impact on the landscape quality of the area been taken into account?
- In rural locations, has the impact of the development on the tranquillity of the area been fully considered?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?
- Can any new views be created?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?
- Have opportunities for enhancing existing amenity spaces been explored?
- Will any communal amenity space be created? If so, how this will be used by the new owners and how will it be managed?
- Is there opportunity to increase the local area biodiversity?

4

Gateway and access features:

- What is the arrival point, how is it designed?
- Does the proposal maintain or enhance the existing gaps between settlements?
- Does the proposal affect or change the setting of a listed building or listed landscape?
- Is the landscaping to be hard or soft?

5

Buildings layout and grouping:

- What is the typical built pattern of buildings?
- How have the existing groupings been reflected in the proposal?
- Are proposed groups of buildings offering variety and texture to the villagescape?

5

Buildings layout and grouping:

- What is the typical built pattern of buildings?
- How have the existing groupings been reflected in the proposal?
- Are proposed groups of buildings offering variety and texture to the villagescape?
- What effect would the proposal have on the streetscape?
- Does the proposal maintain the character of dwelling clusters stemming from the main road?
- Does the proposal overlook any adjacent properties or gardens? How is this mitigated?
- Subject to topography and the clustering of existing buildings, are new buildings oriented to incorporate passive solar design principles, with, for example, one of the main glazed elevations within 30° due south, whilst also minimising overheating risk?

6

Building line and boundary treatment:

- What are the characteristics of the building line?
- How has the building line been respected in the proposals?
- Has the appropriateness of the boundary treatments been considered in the context of the site?

7

Building heights and roofline:

- What are the characteristics of the roofline?
- Have the proposals paid careful attention to height, form, massing and scale?
- If a higher than average building(s) is proposed, what would be the reason for making the development higher?
- Will the roof structure be capable of supporting a photovoltaic or solar thermal array either now, or in the future?
- Will the inclusion of roof mounted renewable technologies be an issue from a visual or planning perspective? If so, can they be screened from view, being careful not to cause over shading?

8

Household extensions:

- Does the proposed design respect the character of the area and the immediate neighbourhood, and does it have an adverse impact on neighbouring properties in relation to privacy, overbearing or overshadowing impact?
- Is the roof form of the extension appropriate to the original dwelling (considering angle of pitch)?
- Do the proposed materials match those of the existing dwelling?
- In case of side extensions, does it retain important gaps within the street scene and avoid a 'terracing effect'?
- Are there any proposed dormer roof extensions set within the roof slope?
- Does the proposed extension respond to the existing pattern of window and door openings?
- Is the side extension set back from the front of the house?
- Can any materials be reused in situ to reduce waste and embodied carbon?

9

Building materials & surface treatment:

- What is the distinctive material in the area?
- Does the proposed material harmonise with the local materials?
- Does the proposal use high quality materials?
- Have the details of the windows, doors, eaves and roof details been addressed in the context of the overall design?
- Does the new proposed materials respect or enhance the existing area or adversely change its character?
- Are recycled materials, or those with high recycled content proposed?
- Has the embodied carbon of the materials been considered and are there options which can reduce the embodied carbon of the design? For example, wood structures and concrete alternatives.

10

Car parking:

- What parking solutions have been considered?
- Are the car spaces located and arranged in a way that is not dominant or detrimental to the sense of place?
- Has planting been considered to soften the presence of cars?
- Does the proposed car parking compromise the amenity of adjoining properties?
- Have the needs of wheelchair users been considered?
- Can electric vehicle charging points be provided?
- Can secure cycle storage be provided at an individual building level or through a central/ communal facility where appropriate?
- If covered car ports or cycle storage is included, can it incorporate roof mounted photovoltaic panels or a biodiverse roof in its design?

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Barby and Onley Neighborhood Plan

Site Options and Assessment
Final Report

January 2024

Quality information

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Abbreviations used in the report

Abbreviation Definition

DLUHC	Department for Levelling-Up, Housing and Communities
dph	Dwellings per hectare
WNC	West Northamptonshire Council
Ha	Hectare
BOPC	Barby & Onley Parish Council
SLAA	Strategic Land Availability Assessment
LPA	Local Planning Authority
NP	Neighbourhood Plan
NPA	Neighbourhood Plan Area
NPG	Neighbourhood Plan Group
NPPF	National Planning Policy Framework
PPG	Planning Practice Guidance
PRoW	Public Right of Way
QB	Qualifying Body
SSSI	Site of Special Scientific Interest
SAMs	Scheduled Ancient Monument
NCLCA	Northamptonshire Current Landscape Character Assessment

Executive Summary

The Barby & Onley Neighbourhood Plan, which will cover the whole of the Barby & Onley Parish, is being reviewed in the context of the adopted West Northamptonshire Joint Core Strategy Part 1 Local Plan (adopted 2014) and Daventry Local Plan Part 2 (adopted 2020) and in light of the emerging Local Plan for West Northamptonshire. The parish, which is centred around the settlements of Barby and Onley, lies between the towns of Rugby and Daventry.

Barby & Onley Neighbourhood Planning Committee (BOPC) is reviewing the Neighbourhood Plan, which was 'made' in September 2016. BOPC is seeking to identify suitable sites for allocation in the updated Neighbourhood Plan to meet an identified local need for additional housing over the plan period.

This report provides an assessment of five sites which came forward in a Neighbourhood Plan call for sites exercise conducted by BOPC and one from the West Northamptonshire Strategic Land Availability Assessment (SLAA).

Of the six sites assessed (NP1, NP2, NP3, NP4 / SLAA 72, NP5, SLAA 71), five sites are potentially suitable for allocation (either in full or in part) in the Neighbourhood Plan, subject to the identified constraints being addressed. These sites are:

- Site NP2 – Land to the west of Rugby Road
- Site NP3 – Land to the south of School Close
- Site NP4 (SLAA 72) – Land to the west of Daventry Road
- Site NP5 – Land to the north of Longdown Lane
- SLAA 71 – Land to the east of Daventry Road

Of the five sites, NP2, NP4 / SLAA 72, NP5 and SLAA 71 are only suitable for partial allocation, as development of the entire site would result in significant adverse impacts on the landscape and character of the settlement.

The remaining site (NP1) is unsuitable for allocation.

From the list of potentially suitable sites, the Parish Council should engage with West Northamptonshire Council, landowners and the community to explore options for site allocations in the Neighbourhood Plan which best meet the objectives of the Neighbourhood Plan and the development needs of the neighbourhood area.

1. Introduction

- 1.1 AECOM has been commissioned to undertake an independent site appraisal for the Barby & Onley Neighbourhood Plan on behalf of Barby & Onley Parish Council (BOPC). The work undertaken was agreed with BOPC and the Department for Levelling Up, Housing and Communities (DLUHC) in September 2023 as part of the national Neighbourhood Planning Technical Support Programme led by Locality.
- 1.2 It is important that the site process is carried out in a transparent, fair, robust and defensible way and that the same process is applied to each potential site. Equally important is the way in which the work is recorded and communicated to interested parties.
- 1.3 The site appraisal will assess sites to understand if they are suitable, available and likely to be viable under national planning criteria.

Local context

- 1.4 Barby and Onley is a parish with a population of approximately 2,511 residents¹ in West Northamptonshire. The designated neighbourhood area (see **Figure 1.1**) was approved by Daventry District Council (DDC) on 25th July 2013, before the merger of the three districts of Daventry, Northampton and South Northamptonshire to form West Northamptonshire.
- 1.5 The parish comprises two distinct settlements of Barby and Onley, 2.7km apart as the crow flies.
- 1.6 The parish has 18 listed buildings (including two listed walls) and two scheduled monuments. The surrounding countryside has a network of footpaths within and extending beyond the parish. The conservation area of the Oxford Canal runs through the parish.
- 1.7 There are a range of local services and facilities in Barby, including a garden centre, pub, a general shop and post office, a Church of England primary school, and a Village Hall. Onley has a village hall, Dunchurch Marina, two Prisons and a Secure training centre situated nearby which is currently closed.
- 1.8 There are train services from Rugby Station to London Euston (approx. 56 minutes), Northampton and Birmingham. Junction 18 of the M1 motorway is 4 miles east of Barby at Crick. A local bus service can be accessed from bus stops in Barby which provides connections to Rugby, Daventry and Northampton.

¹ Available at:

<https://www.ons.gov.uk/peoplepopulationandcommunity/populationandmigration/populationestimates/adhocs/13843parishpopulationestimatesformid2011tomid2020basedonbestfittingofoutputareastoparishes>

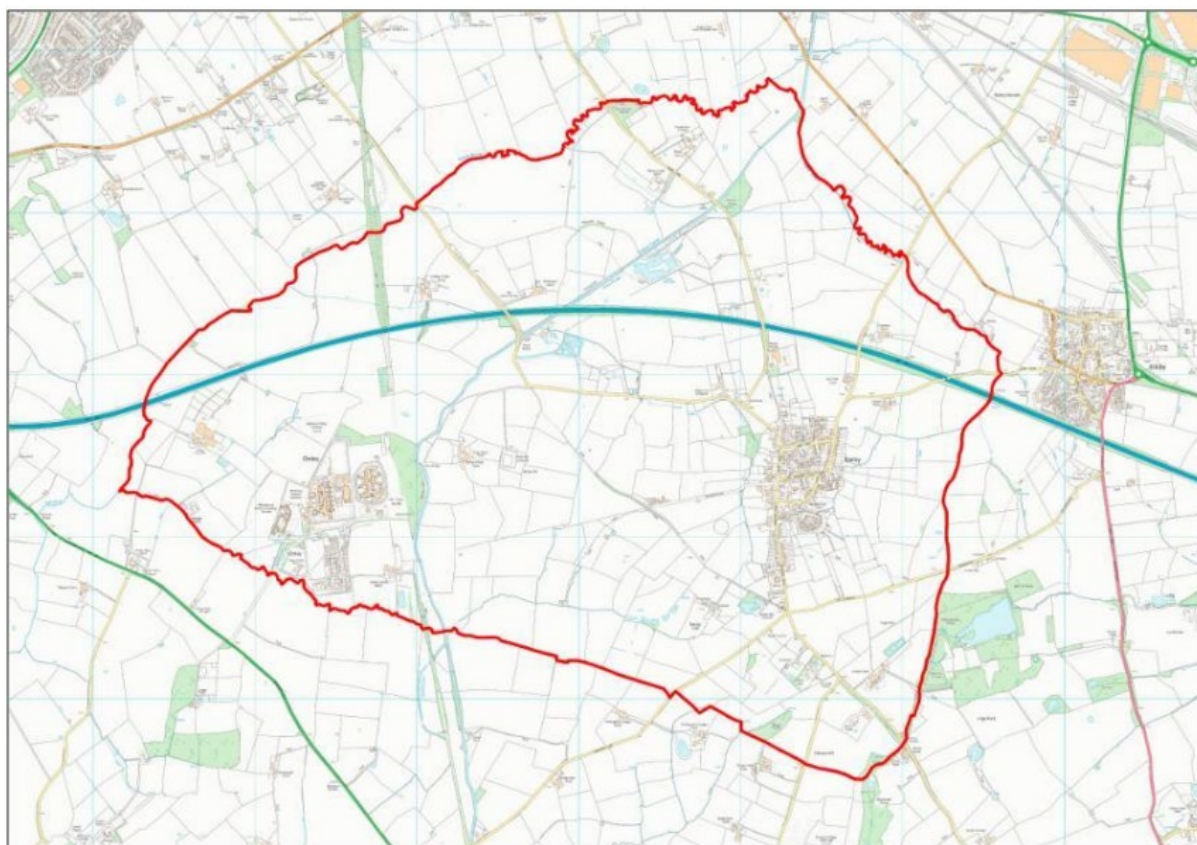


Figure 1.1 Barby & Onley neighbourhood area (source: DDC)

The Neighbourhood Plan

- 1.9 The Barby & Onley Neighbourhood Plan was ‘made’ in September 2016 and now forms part of the development plan for West Northamptonshire.
- 1.10 A review of the made Neighbourhood Plan is currently underway, and BOPC is seeking to identify potential sites for allocation in the Neighbourhood Plan in order to meet an identified local need.
- 1.11 BOPC carried out a call for sites which has identified 5 sites with potential for allocation in the Neighbourhood Plan. One further site was identified through the West Northamptonshire Strategic Land Availability Assessment (SLAA).
- 1.12 The purpose of AECOM’s site appraisal is to assess whether the sites identified are appropriate for allocation in the Neighbourhood Plan. In particular, the assessment looks at whether site locations and development proposals comply with the strategic policies of the adopted Development Plan. The report is also intended to help the group to ensure that the Basic Conditions considered by the Independent Examiner are met, as well as any potential legal challenges by developers and other interested parties.

2. Methodology

- 2.1 The approach to the site assessment is based on the Government's Planning Practice Guidance (PPG). The relevant sections are Housing and Economic Land Availability Assessment² and Neighbourhood Planning³, as well as the 'How to Assess and Allocate Sites for Development' neighbourhood planning toolkit (Locality, 2021)⁴. These all support an approach to site assessment which is based on a site's suitability, availability and achievability.
- 2.2 In this context, the methodology for identifying sites and carrying out the site assessment is presented below.

Task 1: Identify Sites to be included in the Assessment

- 2.3 For the Barby & Onley Neighbourhood Plan, sites were identified from the following sources:
- Sites identified by the Parish Council Call for Sites; and
 - West Northamptonshire Strategic Land Availability Assessment (SLAA) (September 2021)⁵
- 2.4 Where sites were identified through more than one source, a single assessment was undertaken to ensure that there was no duplication of assessment results for the same site. This resulted in six sites being taken forward for assessment.
- 2.5 For sites which had previously been assessed through the SLAA, the WNC conclusions on suitability were reviewed to determine if these remained appropriate in the context of the Neighbourhood Plan. Sites which had not been previously assessed by WNC were assessed using a site appraisal pro-forma (see Task 2), as well as one of the SLAA sites as it had not been taken forward for full assessment and was re-submitted to the neighbourhood plan call for sites.

Task 2: Site Assessment

- 2.6 A site appraisal pro-forma has been used to assess potential sites for allocation in the Neighbourhood Plan. It is based on the Government's Planning Practice Guidance, and the 'How to Assess and Allocate Sites for Development' toolkit. The purpose of the pro-forma is to enable a consistent evaluation of each site against an objective set of criteria.
- 2.7 The pro-forma captures a range of both quantitative and qualitative information, including:
- General information (including site reference, address, size and use; site context and planning history)
 - Context (including planning policy)

² Available at <https://www.gov.uk/guidance/housing-and-economic-land-availability-assessment>

³ Available at <https://www.gov.uk/guidance/neighbourhood-planning--2>

⁴ Available at <https://neighbourhoodplanning.org/toolkits-and-guidance/assess-allocate-sites-development/>

⁵ Available at [New Local Plan for West Northamptonshire | West Northamptonshire Council \(westnorthants.gov.uk\)](#)

- Suitability of sites for development, including: site characteristics, environmental designations, physical constraints, landscape and heritage considerations, access to community facilities and services.
 - Availability of sites for development.
 - Any issues that may affect site delivery/viability.
- 2.8 The assessments have been informed by desk-based research using the Local Authority website⁶, Natural England's Magic Map Tool⁷ and other sources of evidence.
- 2.9 Following the initial desktop study, a site visit to Barby & Onley was undertaken in October 2023. The purpose of the site visit was to survey the sites in person in order to assess physical factors such as access and current use and more qualitative characteristics such as views and character, and to clarify issues which emerged from the initial desktop study.

Task 3: Consolidation of Results

- 2.10 A red/amber/green (RAG) 'traffic light' rating of all sites has been given following the assessment, based on whether the site is an appropriate candidate for allocation in the Neighbourhood Plan for a particular use. The traffic light rating indicates 'green' for sites that are relatively free from development constraints and are appropriate in principle as site allocations, 'amber' for sites, which are potentially suitable in full or in part if identified issues can be resolved and 'red' for sites, which are not currently suitable. The judgement on each site is based on the three 'tests' of whether a site is appropriate for allocation according to the Planning Practice Guidance – i.e. the site is suitable, available and achievable.

Task 4: Indicative Housing Capacity

- 2.11 The housing capacity figure is an indicative number of homes that could be accommodated on each site taking into account Local Plan Policies, the density of the surrounding area and the site-specific constraints and opportunities.
- 2.12 If a figure already exists for a site, through an existing planning permission or proposed by a landowner/developer, this figure has been used if appropriate.
- 2.13 For sites which were found to be suitable or potentially suitable for residential allocation but for which no capacity figure exists, an indicative capacity has been provided.
- 2.14 This is based on a net developable area which takes into account the size of the site, as larger sites are more likely to require other uses and supporting infrastructure to be provided within the site boundary, reducing the area available for residential development. The calculation also reflects site specific constraints, the context/setting of each site (including the prevailing density of the surrounding area), and the relevant Local Plan Policies.
- 2.15 The SLAA methodology provides a range of potential density assumptions based on site context (Table 2.1). Sites within urban areas (Daventry, Northampton, Towcester and Brackley) 40 dph has been applied, a density of 35 dph has been

⁶ Available at [Planning policy | West Northamptonshire Council \(westnorthants.gov.uk\)](https://www.westnorthants.gov.uk/planning-policy)

⁷ Available at <https://magic.defra.gov.uk/MagicMap.aspx>

applied to Sustainable Urban Extensions and sites adjacent to main urban areas and sites elsewhere in the area have been assessed at 30dph.

2.16 The indicated number of dwellings is for the total land within the boundary shown. Where the assessment has indicated that a reduced site area is suitable/potentially suitable for development, a revised site area could be proposed in the neighbourhood plan, if agreed with the landowner, to meet the required number of homes. The number of dwellings will also depend on the housing size, type, tenure and mix being planned for, which should be informed by an assessment of housing need.

2.17 **Table 2.1** below shows the developable area and density applied to sites in the assessment to calculate the indicative number of homes.

Table 2.1 Calculation of site development capacity (Source: West Northamptonshire SLAA)

Site area	Developable area (% of gross site area)	Indicative density (dwellings per hectare)
Up to 0.5 ha	100%	30 to 40 (subject to location)
0.6 ha to 2 ha	80%	30 to 40 (subject to location)
Over 2ha	60%	30 to 40 (subject to location)

3. Policy Context

Planning Policy

- 3.1 The Neighbourhood Plan policies and allocations should be in general conformity with the strategic policies of the adopted Development Plan and should also have regard to any emerging development plan so that neighbourhood plan policies are not superseded by a newly adopted Local Plan.
- 3.2 A number of sources have been reviewed in order to understand the context for potential site allocations. This includes national policies, local policies and relevant evidence base documents.
- 3.3 National Policy is set out in the National Planning Policy Framework (NPPF) (2021)⁸ and is supported by Planning Practice Guidance (PPG)⁹. The NPPF is a high-level document which sets the overall framework for more detailed policies contained in local and neighbourhood plans.
- 3.4 The statutory local plan-making authority is West Northamptonshire Council (WNC). The key documents making up the adopted statutory development plan for Barby & Onley are:
- The West Northamptonshire Joint Core Strategy (WNJCS) Local Plan (Part 1)¹⁰, adopted December 2014. This document sets out the planning framework for the former Daventry District, Northampton Borough and South Northamptonshire Councils for the plan period up to 2029 and will deliver sustainable development; and
 - The Settlements and Countryside (Part 2)¹¹ Local Plan 2011-2029, adopted 20 February 2020. This document was prepared to help further guide planning decisions in the Daventry area and forms part of the Development Plan for the District, along with the WNJS, the Minerals and Waste Local Plan and "made" neighbourhood plans.
- 3.5 WNC is in the early stages of preparing a new Local Plan¹². The most recent Local Development Scheme, with the publication of the Draft Plan and Consultation (Regulation 19) expected in June 2024. The expected adoption date for the Local Plan is March 2026.
- 3.6 The relevant policies and findings from the above plans are presented below.

National Planning Policy

- 3.7 The policies of particular relevance to development in Barby & Onley are set out below:
- 3.8 **Paragraph 13** states that Neighbourhood Plans should support the delivery of strategic policies contained in local plans or spatial development strategies; and should shape and direct development that is outside of these strategic policies.

⁸ Available at <https://www.gov.uk/government/publications/national-planning-policy-framework--2>

⁹ Available at www.gov.uk/government/collections/planning-practice-guidance

¹⁰ Available at <https://www.westnorthants.gov.uk/west-northamptonshire-joint-core-strategy/west-northamptonshire-joint-core-strategy-local-plan-part>

¹¹ Available at [Daventry Local Plan \(Part 2\) | West Northamptonshire Council \(westnorthants.gov.uk\)](http://Daventry Local Plan (Part 2) | West Northamptonshire Council (westnorthants.gov.uk))

¹² Available at [New Local Plan for West Northamptonshire | West Northamptonshire Council \(westnorthants.gov.uk\)](http://New Local Plan for West Northamptonshire | West Northamptonshire Council (westnorthants.gov.uk))

- 3.9 **Paragraph 60** emphasises that to support the Government's objective of significantly boosting the supply of homes, it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay. The overall aim should be to meet as much of an area's identified housing need as possible, including with an appropriate mix of housing types for the local community.
- 3.10 **Paragraph 66** notes that where major development involving the provision of housing is proposed, planning policies and decisions should expect at least 10% of the homes to be available for affordable home ownership, unless this would exceed the level of affordable housing required in the area, or significantly prejudice the ability to meet the identified affordable housing needs of specific groups.
- 3.11 **Paragraph 71** states that neighbourhood planning groups should give particular consideration to the opportunities for allocating small and medium-sized sites of a size consistent with paragraph 70a) suitable for housing in their area.
- 3.12 **Paragraph 123** notes that planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions.
- 3.13 **Paragraph 165** states that inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk. Where development is necessary in such areas, it should be made safe for its lifetime without increasing flood risk elsewhere.
- 3.14 **Paragraph 167** sets out that plans should apply a sequential, risk-based approach to the location of development in order to avoid flood risk to people and property. **Paragraph 168** explains that the purpose of the sequential test is to steer development to areas with the lowest risk of flooding, and that development should not be allocated or permitted if there are reasonably available sites for the proposed development in areas with a lower risk of flooding. Where this is not possible, **paragraphs 169 and 170** set out the process for applying an exception test.
- 3.15 **Paragraph 175** states that plans should allocate land with the least environmental or amenity value, where consistent with other policies in the NPPF. Footnote 53 suggests that where significant development of agricultural land is demonstrated to be necessary, areas of poorer quality land should be preferred to those of a high quality.
- 3.16 **Paragraph 182** states that great weight should be given to conserving and enhancing landscape and scenic beauty in Areas of Outstanding Natural Beauty. The conservation and enhancement of wildlife and cultural heritage are also important considerations in these areas. The scale and extent of development within these designated areas should be limited, while development within their setting should be sensitively located and designed to avoid or minimise adverse impacts on the designated areas.
- 3.17 **Paragraph 205** states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation.

- 3.18 **Paragraph 206** states that where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss.

West Northamptonshire Joint Core Strategy Local Plan (Part 1) (December 2014)

- 3.19 **Policy SA** states that the Council will take a positive approach that reflects the presumption in favour of sustainable development.
- 3.20 **Policy S1** outlines new development in rural areas will be limited with the emphasis being on 1) enhancing and maintaining the distinctive character and vitality of rural communities; 2) shortening journeys and facilitating access to jobs and services; 3) strengthening rural enterprise and linkages between settlements; 4) respecting the quality of tranquillity.
- 3.21 **Policy S3** states that provision will be made for about 42,620 net additional dwellings in the plan area during the plan period 2011 to 2029, about 2,360 of these will be in the Daventry rural areas.
- 3.22 **Policy S5** outlines that sustainable urban extensions will be provided at Daventry North East with 2,600 dwellings and local employment opportunities.
- 3.23 **Policy S10** sets out the sustainable development principles which should be followed.
- 3.24 **Policy RC2** states that new residential development will be required to make provision for community facilities and public open space. The loss of existing community facilities and areas of open space will be resisted unless it can be demonstrated that the benefits will outweigh the loss of the facility, the open space is surplus, or improvements can be made through the provision of a replacement facility.
- 3.25 **Policy H1** states that new housing development will provide for a mix of house types, sizes and tenures to cater for different accommodation needs including older people and vulnerable groups. Housing developments will be expected to make the most efficient use of land having regard to: a) the location and setting of the site; b) existing character and density of the local area; c) accessibility to services and facilities; d) proximity to public transport routes; e) implications of density for affordability and viability; f) living condition for future residents; g) impact on the amenities of occupiers of neighbouring properties.
- 3.26 **Policy H2** outlines that 40% of the total number of dwellings to be delivered in Daventry rural areas should be affordable. Where on-site provision is not practicable then an off-site contribution of equivalent value will be acceptable.
- 3.27 **Policy H3** states that the provision of affordable housing to meet identified local needs in rural areas on 'exception sites' will be supported. The following criteria must be met: a) the site is within or immediately adjoins the main built-up area or a rural settlement; b) the form and scale of development should be clearly justified by evidence of need through a local housing survey; and c) arrangements for the management and occupation of affordable housing must

ensure that it will be available and affordable in perpetuity for people in local housing need.

- 3.28 **Policy H5** states that the existing housing stock will be managed and safeguarded by restricting the loss of existing dwellings to other uses; securing the re-use of empty dwellings for residential use; and allowing houses in multiple occupation where they would not adversely affect the character and amenity of existing residential areas.
- 3.29 **Policy BN1** sets out measures to enhance existing green infrastructure connections and provide new green infrastructure.
- 3.30 **Policy BN2** supports development which will maintain and enhance existing designations and assets, or deliver a net gain in biodiversity. Development that has the potential to harm sites of ecological importance will be subject to an ecological assessment and be required to demonstrate the methods used to conserve biodiversity in its design, construction and operation; how habitat conservation, enhancement and creation can be achieved through linking habitats; and how designated sites, protected species and priority habitats will be safeguarded.
- 3.31 **Policy BN3** sets out measures to enhance and manage existing woodlands and create new woodlands in West Northamptonshire. The protection of aged or veteran trees outside ancient woodlands will also be supported.
- 3.32 **Policy BN5** states that designated and non-designated heritage assets and their settings and landscapes will be conserved and enhanced in recognition of their individual and cumulative significance and contribution to West Northamptonshire's local distinctiveness and sense of place.
- 3.33 **Policy BN7** states that new development proposals will comply with flood risk assessment and management requirements set out in the NPPF and PPG and the West Northamptonshire Strategic Flood Risk Assessments.
- 3.34 **Policy BN9** states that new development should seek to mitigate exposure to sources of pollution (i.e. to reduce the adverse impacts of noise).
- 3.35 **Policy INF2** states that new development will only be permitted if the necessary on and off-site infrastructure that is required to support it, and mitigate its impact, is either already in place, or there is a reliable mechanism to ensure it will be delivered.
- 3.36 **Policy R1** outlines that within the rural areas the distribution of the rural housing requirement will be subject of the Part 2 Local Plans.
- 3.37 **Policy R3** notes that improved accessibility and sustainable transport within rural areas and the avoidance of congestion and 'rat running' will be secured by supporting improved public transport connections; supporting improvements to cycling networks and reviewing walking connections.

Settlements and Countryside Local Plan (Part 2) for Daventry District 2011 – 2029 (February 2020)

- 3.38 Section 5 of the Part 2 Plan contains policies relating to Development in Rural Areas. It sets out that allocations for development in the rural areas are not

necessary and specific targets have not been identified for individual settlements, but that further development could come forward exceptionally as set out in policies RA1, RA2 and RA3, through policy RA6 and through neighbourhood development plans or exception sites.

- 3.39 **Policy NP1** states that neighbourhood development plans should contribute to the achievement of sustainable development and can include allocations for development. It goes on to state that neighbourhood plans should contain policies to address identified local issues including the definition of confines, local housing needs, designation of local green space, community and locally important heritage assets. Neighbourhood Plan policies should not duplicate policies in the Local Plan.
- 3.40 **Policy SP1** states that existing services and facilities will be protected and enhanced within the District's villages through allowing development to meet their identified housing needs.
- 3.41 **Policy RA2** identifies Barby as a 'Secondary Service Village', under which the following policies apply:
- A.** Development at secondary service villages will be located within the confines of the village.
 - B.** Development outside the defined confines will only be acceptable in the following circumstances:
 - i. Where the housing land supply is less than five years (three years where a neighbourhood development plan that is less than two years old is in place that allocates sites for housing) or where the Housing Delivery Test is not met; or
 - ii. Where the development provided would clearly meet an identified local need, for housing this would be need identified through an up-to-date Housing Needs Survey or Housing Needs Assessment where it is demonstrated that this could not otherwise be met within the defined village confines; or
 - iii. Where it is demonstrated that a scheme is required to support an essential local service that may be under threat, especially a primary school or primary health service; or
 - iv. Economic development that will enhance or maintain the vitality or sustainability of the Secondary Service Village or would contribute towards and improve the local economy.
 - C.** All development within or outside the confines shall also be of an appropriate scale relative to its role; not result in a loss of existing services and facilities important to the sustainability of the settlement; protect the form, character and setting of the village and areas of historic or environmental importance; protect the integrity of garden or other open land; be accessible by walking and cycling; and protect the amenity of existing residents.
 - D.** Development that is provided in a made neighbourhood development plan will also be supported.
- 3.42 **Policy RA3** identifies Onley as an 'Other Village'.

- A.** Development at the Other Villages will be located within the confines of the village.
 - B.** Development outside will only be acceptable in the following circumstances:
 - i. Where the development provided would clearly meet an identified local need, for housing this would be need identified through an up-to-date Housing Needs Survey or Housing Needs Assessment where it is demonstrated that this could not otherwise be met within the defined village confines; or
 - ii. Where it is demonstrated that a scheme is required to support an essential local service that may be under threat, especially a primary school; or
 - iii. Economic development that will enhance or maintain the vitality or sustainability of the Other Village or would contribute towards and improve the local economy.
 - C.** All development at Other Villages should also be small scale; not result in the loss of existing services and facilities important to the sustainability of the settlement; protect the form, character and setting of the village and areas of historical or environmental importance; protect the integrity of garden or open land; be accessible by walking and cycling and protect the amenity of existing residents.
 - D.** Development that is provided in a made neighbourhood development plan will also be supported.
- 3.43 **Policy RA5** supports the renovation or conversion of existing buildings within the confines of the village provided that the proposal respects the distinctive nature and quality of its surroundings.
- 3.44 **Policy RA6** states that in the open countryside outside the confines of villages, the following forms of development only will be supported:
- i. Development, including the re-use or conversion of existing buildings, essential to ensure the continuing function of a rural business that meets the requirements of Policy HO6 (Rural Worker Dwelling); or
 - ii. The replacement of an existing building of the same general size, massing and bulk predominantly on the same footprint, for the same use, that respects the character of its rural surroundings; or
 - iii. Individual dwellings of exceptional quality or innovative design; or
 - iv. The optimal viable use of a heritage asset; or
 - v. The re-use of redundant or disused buildings that lead to an enhancement to the immediate setting; or
 - vi. Extensions to existing buildings that respect their form and character; or
 - vii. Essential investment in infrastructure including utilities; or

- viii. Development for agriculture, equestrian, forestry, leisure, community or tourism use that is justified and of an appropriate scale for its location, and has no significant adverse impacts on its character, beauty and tranquillity; or
- ix. Economic development that otherwise accords with policy EC4 or policy R2 of the West Northamptonshire Joint Core Strategy; or
- x. Lorry parking provision that otherwise accords with policy ST2; or
- xi. Development that otherwise accords with policies RA1, RA2 and RA3; or
- xii. A rural exception site which complies with policy H3 of the West Northamptonshire Joint Core Strategy and where appropriate policy HO7.

3.45 **Policy HO6** outlines that the provision of a Rural Worker Dwelling will be acceptable when it is demonstrated that there is an essential need for the dwelling to ensure the function of the rural business.

3.46 **Policy HO7** explains that when considering proposals for rural exception sites that meet the needs of more than one related settlement, priority will be given to sites at the relevant settlement that is in the highest category in the settlement hierarchy.

3.47 **Policy HO8** states that housing needs will be met by development providing a mix of dwelling type and size to cater for current and forecast accommodation needs. Schemes that provide specialised accommodation whilst promoting independent living will be supported.

3.48 **Policy ST1** supports measures to promote walking and cycling and the provision or retention of linkages.

3.49 **Policy ENV1** supports proposals that maintain the distinctive character and quality of the District's landscapes, as defined in the Daventry District Landscape Character Assessment 2017. Proposals that would cause landscape harm will be required to demonstrate that the harm can be successfully mitigated through an appropriate landscape treatment in keeping with the landscape character area.

3.50 **Policy ENV2** protects the special qualities of the District's areas of high quality landscape which are designated as Special Landscape Areas. The Council will support proposals that make a positive contribution to their special qualities. Any proposals which would have a harmful effect on the special qualities of the Special Landscape Areas, that cannot be successfully mitigated, will be resisted.

3.51 **Policy ENV4** recognises the importance of green infrastructure including designations within neighbourhood development plans.

3.52 **Policy ENV5** states that development affecting SSSI will be expected to avoid causing adverse effects, unless, in exceptional circumstances, it can be demonstrated that the benefits of the development clearly outweigh the nature conservation value. Development affecting sites of local importance for biodiversity and geodiversity will be expected to avoid causing adverse effects unless it can be demonstrated that the benefits of development outweigh the harm and where measures to mitigate the harm can be put in place. Development affecting sites that are not formally designated but which make a positive

contribution to biodiversity will be required to take into account their current or potential role in the District's wider biodiversity network.

3.53 **Policy ENV7** states that any harm to a designated heritage asset requires clear and convincing justification.

3.54 **Policy CW1** protects existing community facilities and open spaces. Proposals which involve the loss of such facilities and open space will be resisted and will only be allowed if they meet the criteria in Policy RC2 of the WNJCS.

New Local Plan for West Northamptonshire

3.55 WNC is preparing a new Local Plan to guide development in the period up to 2041. When adopted, it will replace the Northamptonshire Joint Core Strategy Local Plan (Part 1) and Part 2 Local Plans which were adopted for the former Daventry, Northampton and South Northamptonshire areas.

3.56 A consultation on spatial options for the Plan took place between 11 October and 24 December 2021. This was the second stage in preparing the new Plan (after the Issues Consultation in 2019), no decisions have been made yet on where growth will occur, the main purpose of the consultation was to seek views on a Vision, Spatial Objectives and Development Options.

Barby and Onley Neighbourhood Development Plan (Made September 2016)

3.57 The Neighbourhood Plan was adopted in September 2016 with four main objectives: 1) Protect and preserve the size, form and character of the Parish; 2) maintain the separation of the Parish from the surrounding settlements; 3) protect and enhance local landscape and views; 4) protect and enhance open and green spaces.

3.58 The Neighbourhood Plan does not include any housing allocations, however it does include relevant policies, such as Policy BO-H1. This covers the scale and type of new housing in Barby and Onley and sets a preference for small-scale infill development, which is no more than 2 storeys.

3.59 Policy BO-H1 Scale and type of new housing in Barby and Onley states housing proposals must fall within the existing settlement boundaries of either Barby or Onley. In doing so, this will maintain the rural character of each village.

3.60 Policy BO-H2 Housing in the Countryside refers to Policy R1 of the West Northamptonshire Joint Core Strategy.

3.61 Policy BO-H3 states that new development will contribute to providing suitable dwellings to ensure there is mix of types and size of dwelling in the Parish.

3.62 Policies BO-CF1 and BO-CF2 set out the local green spaces in Barby and Onley which are to be protected.

3.63 Local Community Facilities are protected under Policy BO-CF3. The change of use of local community facilities will only be permitted for other health, education or community type uses.

Evidence base documents

3.64 A range of Local Plan evidence base and other documents were taken into consideration as part of the site assessment, including the following:

- West Northamptonshire Strategic Land Availability Assessment (SLAA) (September 2021)¹³;
- West Northamptonshire Current Landscape Character Assessment (December 2020)¹⁴;
- Barby and Onley Made Neighbourhood Development Plan (September 2016)¹⁵

¹³ Available at [New Local Plan for West Northamptonshire | West Northamptonshire Council \(westnorthants.gov.uk\)](https://www.westnorthants.gov.uk/new-local-plan-for-west-northamptonshire)

¹⁴ Available at [New Local Plan for West Northamptonshire | West Northamptonshire Council \(westnorthants.gov.uk\)](https://www.westnorthants.gov.uk/new-local-plan-for-west-northamptonshire)

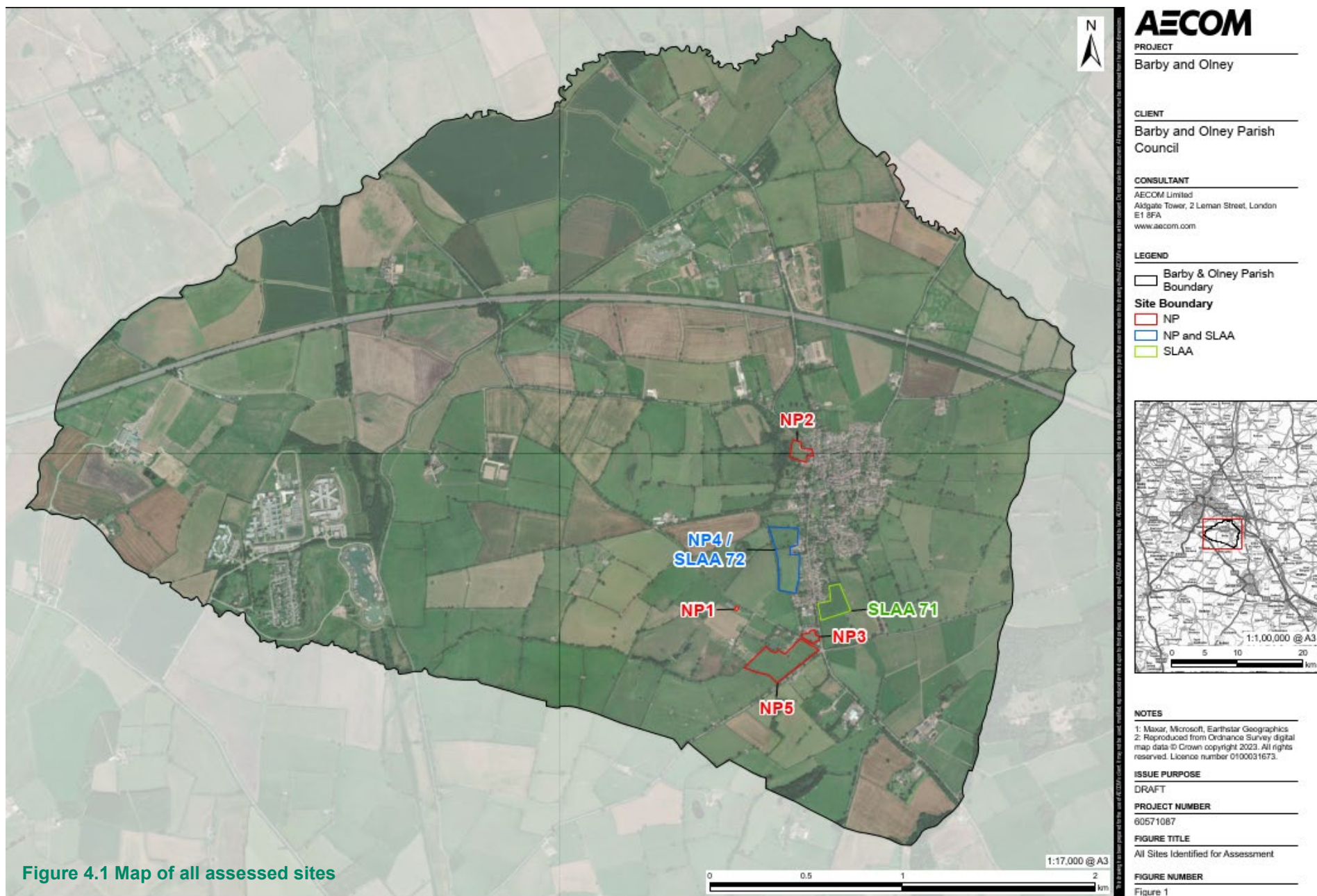
¹⁵ Available at: [Barby and Onley Made NP.pdf \(bardyandonleyparishcouncil.co.uk\)](https://www.bardyandonleyparishcouncil.co.uk/Barby%20and%20Onley%20Made%20NP.pdf)

4. Site Assessment

4.1 **Table 4.1** sets out the sites included in the assessment. There are shown on **Figure 4.1**.

Table 4.1 Sites identified for assessment

Site Ref	Address	Site Size (ha)	Source	Notes and relevant Planning History
NP1	Old Hay Barn at Windybridge Farm, Welton Road	0.02	Call for Sites	DA/2014/0316 - Approval of construction of general purpose agricultural building.
NP2	Land to the west of Rugby Road	0.97	Call for Sites	DA/1990/0076 Approval of front extension to existing single storey garage.
NP3	Land to the south of School Close	0.40	Call for Sites	DA/1989/0417 - refusal of mixed residential development DA/1992/0868 - approval of agricultural storage building DA/2006/1161 Refusal of outline application for residential development.
NP4 (SLAA 72)	Land to the west of Daventry Road	3.50	Call for Sites / SLAA	SLAA concluded that the site was available but not currently suitable or achievable. The site was not carried forward for full assessment based on the strategy at that time.
NP5	Land to the north of Longdown Lane	4.50	Call for Sites	WNDP/2022/10041 - Prior approval for change of use of agricultural to one dwelling - prior approval refused.
SLAA 71	Land to the east of Daventry Road	2.01	SLAA	SLAA concluded that the site was available but not currently suitable or achievable. The site was not carried forward for full assessment based on the strategy at that time. DA/2014/0796 – Refusal on outline planning application for construction of 12 dwellings



- 4.2 **Table 4.2** provides a summary of the assessment findings.
- 4.3 The assessment found that of the six sites assessed, five are potentially suitable for allocation subject to mitigation of identified constraints, of which four are only suitable for partial allocation due to potential landscape and settlement character impacts if developed in full. The remaining site is unsuitable for allocation.
- 4.4 The results of the site assessment are shown in the map in **Figure 4.2**. Detailed proformas for sites NP1 to NP5 are contained in **Appendix A**, while **Appendix B** contains a review of the SLAA conclusions for the SLAA 71 and 72 sites.

Table 4.2 Site Assessment Summary

Site Reference	Address	Gross Site Area (Ha)	Site Capacity (number of dwellings) ¹⁶	Land use being considered	Site suitability conclusion ¹⁷	Justification
NP1	Old Hay Barn at Windybridge Farm, Welton Road	0.02	0	Residential		<p>The site is unsuitable for allocation in the Neighbourhood Plan.</p> <p>The site is part of the Windybridge Farm Estate and is located to the south-west of Barby's built-up area. It is outside and not connected to the village's 'secondary service village' envelope and remote from local services. Redevelopment of the building for residential use would conflict with Policies RA2 and RA6 of the Settlements and Countryside Local Plan (Part 2) and would lead to an isolated dwelling in the countryside, contrary to NPPF paragraph 84.</p>
NP2	Land west of Rugby Road	0.97	23	Residential		<p>The site is potentially suitable for partial allocation in the Neighbourhood Plan.</p> <p>The eastern section of the site falls within Barby's built-up area and 'secondary service village' envelope, whereas the western part of the site falls outside but connected with the village's 'secondary service village' envelope.</p> <p>The site, which is part brownfield and part greenfield, has a vehicular and pedestrian access from the existing dwelling on Rugby Road. The dwelling is a non-designated heritage asset which would need to be taken into account in any development proposals.</p> <p>The site is centrally located to Barby's amenities such as the village store, bus stops and playground.</p> <p>Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>Under local plan policy RA2, this site would only be suitable if the local need was not already met on sites within the village confines.</p> <p>Alternatively, if the Neighbourhood Plan proposed a redrawn settlement boundary to include this site this would comply with policy RA2.</p>

¹⁶ This figure is the capacity of the site assuming the boundary as shown on Figure 4.1. The number of dwellings proposed for allocation may be lower and should be informed by an assessment of local housing need.

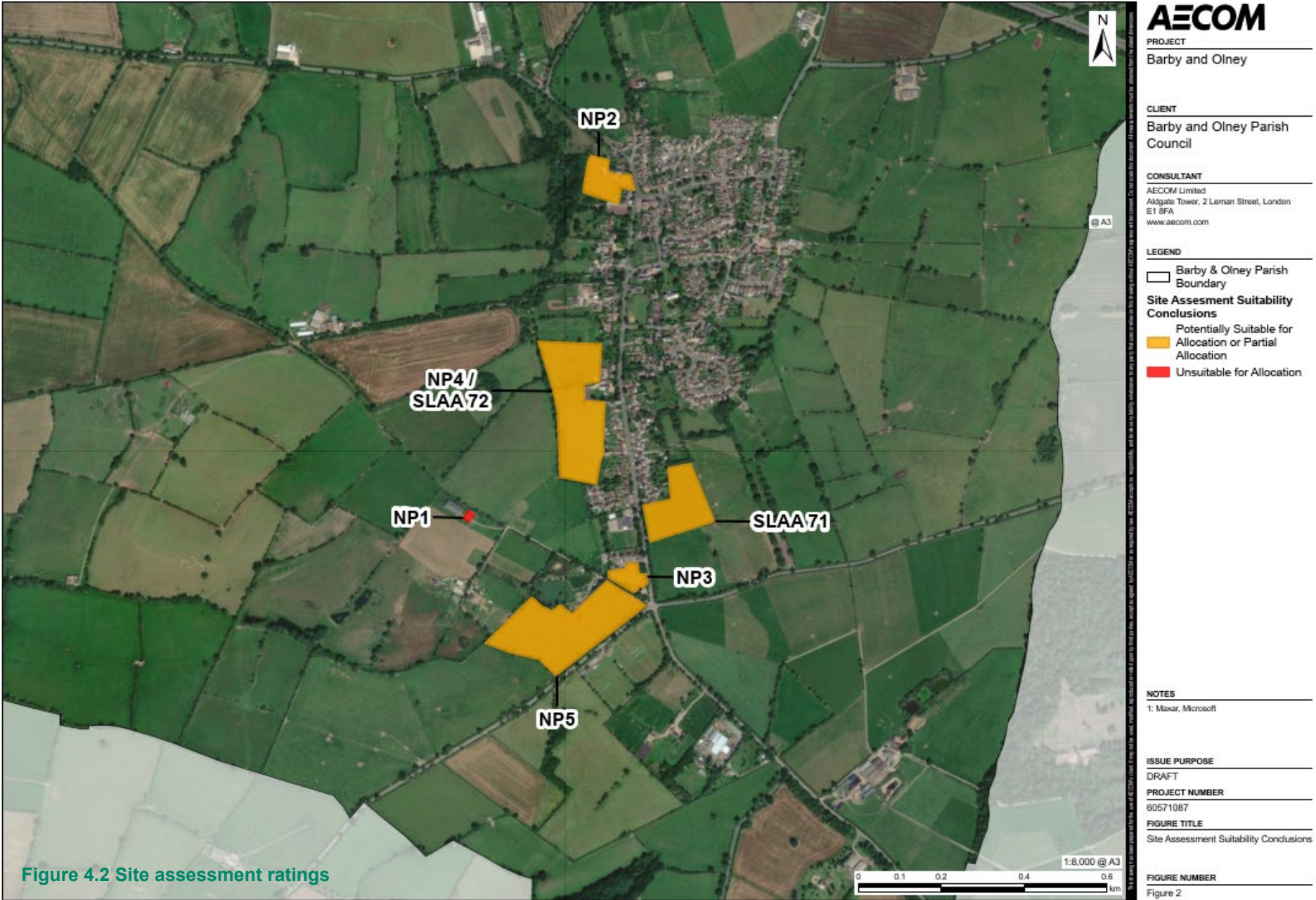
¹⁷ Amber indicates sites are potentially suitable, subject to resolving or mitigating identified constraints. Red indicates sites are unsuitable for allocation.

Site Reference	Address	Gross Site Area (Ha)	Site Capacity (number of dwellings) ¹⁶	Land use being considered	Site suitability conclusion ¹⁷	Justification
NP3	Land south of School Close	0.40	12	Residential		<p>The site is potentially suitable for allocation in the Neighbourhood Plan.</p> <p>The greenfield site can be accessed through School Close and is connected to the settlement and falls within Barby's 'secondary service village' envelope and therefore aligns with Policy RA2 Part A.</p> <p>The site is also close to local amenities including the primary school, several open spaces, village store and bus stops.</p> <p>There is a balancing pond and agricultural stores on site.</p> <p>There is a water tower, telecommunication mast and associated infrastructure on land abutting the site. Further advice from the Local Planning Authority should be sought to understand whether a buffer for safety clearances, screening or other mitigation would be required to address the impacts of the infrastructure including any noise issues.</p> <p>Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>The site</p>
NP4 (SLAA 72)	Land west of Daventry Road	3.50	63	Residential		<p>The site is potentially suitable for partial allocation in the Neighbourhood Plan.</p> <p>The site is located to the west of Barby and is outside the 'secondary service village' envelope, although it is connected to the settlement with residential development from Rugby Road backing onto the site.</p> <p>While the site is not currently accessible for vehicles, there is an opportunity to provide this via Daventry Road. However, this may require securing a right of way through third party land and therefore would require agreement from the relevant landowner.</p> <p>Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>Development of the site in its entirety would adversely impact the character of the village and its surrounding landscape. A smaller development area would reduce the impact on landscape particularly due to its central position to local amenities. Development would also be somewhat screened from within the village due to existing dwellings along</p>

Site Reference	Address	Gross Site Area (Ha)	Site Capacity (number of dwellings) ¹⁶	Land use being considered	Site suitability conclusion ¹⁷	Justification
						<p>Daventry Road, as well as the mature hedgerows and trees that surround its landscape facing edges to the north, south and west.</p> <p>The potential for development to impact on the significance and settings of the heritage assets and their settings would need further investigation, however, development could be designed sensitively or screened to avoid impacting heritage assets.</p> <p>Under local plan policy RA2, this site would only be suitable if the local need was not already met on sites within the village confines.</p> <p>Alternatively, if the Neighbourhood Plan proposed a redrawn settlement boundary to include this site this would comply with policy RA2.</p>
NP5	Land north of Longdown Lane	4.50	81	Residential		<p>The site is potentially suitable for partial allocation in the Neighbourhood Plan.</p> <p>The site is adjacent to the 'secondary service village' envelope.</p> <p>The site is also adjacent to a water tower, telecommunication mast and associated infrastructure, separated by a rural lane and footpath. A single existing agricultural building is also located in the eastern corner.</p> <p>The northern boundary of the site abuts Grade II Listed Barby Corn Mill. Development may have adverse impacts on the setting of this listed building, although this could potentially be addressed through site layout, design and landscaping.</p> <p>Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>The site's topography makes its visibility particularly pronounced from several locations, particularly from Longdown Lane towards Barby, which is marked as an important view in the Made Neighbourhood Plan. The topography of the eastern section is flatter and in closer proximity to Barby's built-up area, village envelope and its amenities, making this section potentially suitable for partial allocation.</p> <p>Under local plan policy RA2, this site would only be suitable if the local need was not already met on sites within the village confines.</p> <p>Alternatively, if the Neighbourhood Plan proposed a redrawn settlement boundary to include this site this would comply with policy RA2.</p>

Site Reference	Address	Gross Site Area (Ha)	Site Capacity (number of dwellings) ¹⁶	Land use being considered	Site suitability conclusion ¹⁷	Justification
SLAA71	Land to the east of Daventry Road	2.01	48	Residential		<p>Development of the whole site would be disproportionate in line with the WNSP Spatial Option 6 (Rural Areas). However, a section of the site adjacent to Daventry Road could be potentially suitable for development in order to meet an identified small-scale local need, if the landowner was in agreement. The potential for development to impact on the significance and settings of the heritage assets and their settings would need further investigation, including a Grade II listed building to the west of the site, however, development could be designed sensitively or screened to avoid impacting its setting.</p> <p>Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>There is an existing access, and the site is adjacent to the secondary service village envelope.</p> <p>Under local plan policy RA2, this site would only be suitable if the local need was not already met on sites within the village confines. Alternatively, if the Neighbourhood Plan proposed a redrawn settlement boundary to include this site this would comply with policy RA2.</p> <p>An appeal in 2016 against a decision to refuse planning permission for 12 homes¹⁸ was dismissed on the grounds of</p> <p>(a) Whether the appeal site is a suitable location for residential development having regard to the aims of local and national planning policies which seek to restrict new housing in the countryside;</p> <p>(b) The effect on the form and character of the village of Barby; and</p> <p>(c) The effect on the remains of ridge and furrow farming within and adjoining the appeal site.</p> <p>This assessment considers the suitability of the site under current planning policy, which supersedes the local and national planning policies at the time of the appeal. However, the matters in points (b) and (c) are relevant and should be taken into account in any proposed development.</p>

¹⁸ Appeal Decision APP/Y2810/W/15/3138048 2



5. Conclusions

Site Assessment Conclusions

- 5.1 Of the six sites assessed, five sites are potentially suitable for allocation or partial allocation for residential development, subject to the identified constraints being addressed. These sites are:
- Site NP2 – Land to the west of Rugby Road
 - Site NP3 – Land to the west of Daventry Road
 - Site NP4 / SLAA 72 – Land to the south of School Close
 - Site NP5 – Land to the north of Longdown Lane
 - SLAA 71 – Land to the east of Daventry Road
- 5.2 NP2, NP4 / SLAA 72, NP5 and SLAA 71 are only suitable for partial allocation, as development of the entire site would result in significant adverse impacts on the landscape and character of the settlement. All of the sites are also outside, or partially outside, Barby's 'secondary service village' envelope.
- 5.3 The remaining site (NP1) is unsuitable for allocation as it is detached from the settlement's (Barby) built area, as well as being outside of the 'secondary service village' envelope. Development in this location would unnecessarily extend the envelope of the village into the surrounding landscape and be unsustainably placed for connectivity to local amenities within the village. The site is also in a prominent topographical position due to its relative height and sloping landform to the south west of Barby.

Next Steps

- 5.4 Should Barby & Onley Neighbourhood Plan Committee decide to allocate a site or sites, the next steps will be to select the sites for allocation in the Neighbourhood Plan, based on:
- the findings of this site assessment;
 - an assessment of viability;
 - community consultation and consultation with landowners;
 - confirmation of site availability for the proposed use;
 - discussions with West Northamptonshire Council;
 - any other relevant evidence that becomes available; and
 - other considerations such as the appropriate density of the proposed sites to reflect local character.

Other considerations

Viability

- 5.5 As part of the site selection process, it is recommended that the Neighbourhood Plan Committee discusses site viability with WNC, landowners and site developers. In addition, the Local Plan evidence base may contain further evidence of the viability of certain types of sites or locations which can be used to support the Neighbourhood Plan site allocations.



Affordable Housing

- 5.6 Five of the six sites considered in this assessment are potentially suitable (four only in part) for allocation for residential development. All five have the potential to accommodate 10 or more dwellings and if the sites were proposed as market housing for 10 dwellings or more, they would be required to include a proportion of affordable housing¹⁹ If an allocation is for fewer than 10 dwellings, affordable housing would not be required. The proportion of affordable housing is usually set by the Local Plan but is expected to be above 10%, unless the proposed development meets the exemptions set out in NPPF.
- 5.7 The requirement for Affordable Housing provision on sites proposed for allocation in the Neighbourhood Plan should be discussed with the Local Planning Authority (and WNC's Affordable Housing Officer) to understand the specific requirements for the sites proposed for allocation.

¹⁹ see NPPF para 63-65

Appendix A Individual Site Assessments

NP1

1. Site Details	
Site Reference / Name	NP1
Site Address / Location	Old Hay Barn at Windybridge Farm, Welton Road, Barby, CV23 8TG
Gross Site Area (Hectares)	0.02
SHLAA/SHELAA Reference (if applicable)	n/a
Existing land use	Agricultural storage
Land use being considered	Housing
Development Capacity (Proposed by Landowner or SHLAA/HELAA)	N/A
Site identification method / source	Neighbourhood Plan Call for Sites
Planning history	DA/2014/0316 - Approval of construction of general purpose agricultural building
Neighbouring uses	Agricultural fields to the north (incl. large storage shed), east, south and west
	

2. Assessment of Suitability

Environmental Constraints

Site is predominantly, or wholly, within or adjacent to the following statutory environmental designations:

Yes / No / partly or adjacent

- Ancient Woodland
- Area of Outstanding Natural Beauty (AONB)
- Biosphere Reserve
- Local Nature Reserve (LNR)
- National Nature Reserve (NNR)
- National Park
- Ramsar Site
- Site of Special Scientific Interest (SSSI)*
- Special Area of Conservation (SAC)
- Special Protection Area (SPA)

**Does the site fall within a SSSI Impact Risk Zone and would the proposed use/development trigger the requirement to consult Natural England?*

No

Site is predominantly, or wholly, within or adjacent to the following non statutory environmental designations:

Yes / No / partly or adjacent / Unknown

- Green Infrastructure Corridor
- Local Wildlife Site (LWS)
- Public Open Space
- Site of Importance for Nature Conservation (SINC)
- Nature Improvement Area
- Regionally Important Geological Site
- Other

No

Site falls within a habitats site which may require nutrient neutrality, or is likely to fall within its catchment?

Yes / No

No

Site is predominantly, or wholly, within Flood Zones 2 or 3?

See guidance notes:

- Flood Zone 1: **Low Risk**
- Flood Zone 2: **Medium Risk**
- Flood Zone 3 (less or more vulnerable site use): **Medium Risk**
- Flood Zone 3 (highly vulnerable site use): **High Risk**

Low risk

Site is at risk of surface water flooding?

See guidance notes:

- Less than 15% of the site is affected by medium or high risk of surface water flooding – **Low Risk**
- >15% of the site is affected by medium or high risk of surface water flooding – **Medium Risk**

Low risk

Is the land classified as the best and most versatile agricultural land (Grades 1, 2 or 3a)?

Yes / No / Unknown

Grade 3 (further investigation needed regarding whether grade 3a or 3b)

2. Assessment of Suitability

Site contains habitats with the potential to support priority species? Does the site contain local wildlife-rich habitats? Is the site part of:

- UK BAP Priority Habitat;
- a wider ecological network (including the hierarchy of international, national and locally designated sites of importance for biodiversity);
- wildlife corridors (and stepping stones that connect them); and/or
- an area identified by national and local partnerships for habitat management, enhancement, restoration or creation?

Yes / No / Unknown

No

Site is predominantly, or wholly, within or adjacent to an Air Quality Management Area (AQMA)?

Yes / No / Unknown

No

Physical Constraints

Is the site:

Flat or relatively flat / Gently sloping or uneven / Steeply sloping

Flat or relatively flat

Is there existing vehicle access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Is there existing pedestrian access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Is there existing cycle access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Are there any Public Rights of Way (PRoW) crossing the site?

Yes / No / Unknown

No

Are there any known Tree Preservation Orders on the site?

Yes / No / Unknown

No

Are there veteran/ancient trees within or adjacent to the site?

Within / Adjacent / No / Unknown

No

Are there other significant trees within or adjacent to the site?

Within / Adjacent / No / Unknown

Unknown

Is the site likely to be affected by ground contamination?

Yes / No / Unknown

Unknown

Is there any utilities infrastructure crossing the site i.e. power lines/pipe lines, or is the site in close proximity to hazardous installations?

Yes / No / Unknown

No

Would development of the site result in a loss of social, amenity or community value?

Yes / No / Unknown

No

2. Assessment of Suitability

Accessibility

Distances to community facilities and services should be measured using walking routes from the centre of each site to each facility. The distances are based on the assumption that 400m is equal to approximately 5 minutes' walk and are measured from the edge of the site.

Facilities	Town / local centre / shop	Bus / Tram Stop	Train station	Primary School	Secondary School	Open Space / recreation facilities	Cycle Route
Distance (metres)	400-800m	400-800m	>1200m	<400m	>3900m	400-800m	400-800m

Landscape and Visual Constraints

Is the site low, medium or high sensitivity in terms of landscape?

- **Low sensitivity:** the site has few or no valued features, and/or valued features that are less susceptible to development and can accommodate change.
- **Medium sensitivity:** the site has many valued features, and/or valued features that are susceptible to development but could potentially accommodate some change with appropriate mitigation.
- **High sensitivity:** the site has highly valued features, and/or valued features that are highly susceptible to development. The site can accommodate minimal change.

Low sensitivity: the whole site covers the footprint of an existing agricultural store, meaning little to no landscape features on the site. The site falls within the Undulating Hills and Valleys Landscape Character Type, and within the Bugbrooke and Daventry Landscape Character Area.

Is the site low, medium or high sensitivity in terms of visual amenity?

- **Low sensitivity:** the site is visually enclosed and has low intervisibility with the surrounding landscape, and/or it would not adversely impact any identified views.
- **Medium sensitivity:** the site is somewhat enclosed and has some intervisibility with the surrounding landscape, and/or it may adversely impact any identified views.
- **High sensitivity:** the site is visually open and has high intervisibility with the surrounding landscape, and/or it would adversely impact any recognised views.

High sensitivity - isolated position on a hill, far from the village's built area. Screening is limited to the adjacent agricultural building and trees/hedgerow to the north. Otherwise, the site is wholly visible along the south due to its elevated position.

Heritage Constraints

Would the development of the site cause harm to a designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Limited or no impact or no requirement for mitigation

Would the development of the site cause harm to a non-designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Limited or no impact or no requirement for mitigation

Planning Policy Constraints

Is the site in the Green Belt?

Yes / No / Unknown

No

Is the site allocated for a particular use (e.g. housing / employment) or designated as open space in the adopted and / or emerging Local Plan?

Yes / No / Unknown



No

2. Assessment of Suitability

Are there any other relevant planning policies relating to the site?	Policy RA2 Settlements and Countryside Local Plan (Part 2).
Is the site: <i>Greenfield / A mix of greenfield and previously developed land / Previously developed land</i>	Greenfield
Is the site within, adjacent to or outside the existing built up area? <i>Within / Adjacent to and connected to / Outside and not connected to</i>	Outside and not connected
Is the site within, adjacent to or outside the existing settlement boundary (if one exists)? <i>Within / Adjacent to and connected to / Outside and not connected to</i>	Outside and not connected to the 'secondary service village' envelope
Would development of the site result in neighbouring settlements merging into one another? <i>Yes / No / Unknown</i>	No
Is the size of the site large enough to significantly change the size and character of the existing settlement? <i>Yes / No / Unknown</i>	No

3. Assessment of Availability	
Is the site available for development? <i>Yes / No / Unknown</i>	Yes
Are there any known legal or ownership problems such as unresolved multiple ownerships, ransom strips, tenancies, or operational requirements of landowners? <i>Yes / No / Unknown</i>	No
Is there a known time frame for availability? <i>Available now / 0-5 years / 6-10 years / 11-15 years</i>	N/A
4. Assessment of Viability	
Is the site subject to any abnormal costs that could affect viability, such as demolition, land remediation or relocating utilities? What evidence is available to support this judgement? <i>Yes / No / Unknown</i>	Yes - agricultural store currently on site
5. Conclusions	
What is the expected development capacity of the site? (either as proposed by site promoter or estimated through SHLAA/HELAA or Neighbourhood Plan Site Assessment)	0
What is the likely timeframe for development (0-5 / 6-10 / 11-15 / 15+ years)	N/A
Other key information	N/A
Overall rating (Red/Amber/Green) The site is suitable and available The site is potentially suitable, and available . The site is not currently suitable, and available . Are there any known viability issues? <i>Yes / No</i>	Red
Summary of justification for rating	The site is unsuitable for allocation in the Neighbourhood Plan. The site is part of the Windybridge Farm Estate and is located to the south-west of Barby's built-up area. It is outside and not connected to the village's 'secondary service village' envelope and remote from local services. Redevelopment of the building for residential use would conflict with Policies RA2 and RA6 of the Settlements and Countryside Local Plan (Part 2) and would lead to isolated dwellings in the countryside, contrary to NPPF paragraph 84.

NP2

1. Site Details	
Site Reference / Name	NP2
Site Address / Location	Land to the west of Rugby Road, Barby, CV23 8UA
Gross Site Area (Hectares)	0.97
SHLAA/SHELAA Reference (if applicable)	n/a
Existing land use	Residential and agricultural
Land use being considered	Housing
Development Capacity (Proposed by Landowner or SHLAA/HELAA)	N/A
Site identification method / source	Neighbourhood Plan Call for Sites
Planning history	DA/1990/0076 - Approval of front extension to existing single storey garage
Neighbouring uses	Field to the north, residential to the east, woodland and mixed uses to the south, woodland to the west
 	

2. Assessment of Suitability

Environmental Constraints

Site is predominantly, or wholly, within or adjacent to the following statutory environmental designations:

Yes / No / partly or adjacent

- Ancient Woodland
- Area of Outstanding Natural Beauty (AONB)
- Biosphere Reserve
- Local Nature Reserve (LNR)
- National Nature Reserve (NNR)
- National Park
- Ramsar Site
- Site of Special Scientific Interest (SSSI)*
- Special Area of Conservation (SAC)
- Special Protection Area (SPA)

**Does the site fall within a SSSI Impact Risk Zone and would the proposed use/development trigger the requirement to consult Natural England?*

No

Site is predominantly, or wholly, within or adjacent to the following non statutory environmental designations:

Yes / No / partly or adjacent / Unknown

- Green Infrastructure Corridor
- Local Wildlife Site (LWS)
- Public Open Space
- Site of Importance for Nature Conservation (SINC)
- Nature Improvement Area
- Regionally Important Geological Site
- Other

Partly or adjacent - Local Green Space in Made Neighbourhood Plan to south of site

Site falls within a habitats site which may require nutrient neutrality, or is likely to fall within its catchment?

Yes / No

No

Site is predominantly, or wholly, within Flood Zones 2 or 3?

See guidance notes:

- Flood Zone 1: **Low Risk**
- Flood Zone 2: **Medium Risk**
- Flood Zone 3 (less or more vulnerable site use): **Medium Risk**
- Flood Zone 3 (highly vulnerable site use): **High Risk**

Low risk

Site is at risk of surface water flooding?

See guidance notes:

- Less than 15% of the site is affected by medium or high risk of surface water flooding – **Low Risk**
- >15% of the site is affected by medium or high risk of surface water flooding – **Medium Risk**

Low risk

Is the land classified as the best and most versatile agricultural land (Grades 1, 2 or 3a)?

Yes / No / Unknown

Grade 3 (further investigation needed regarding whether grade 3a or 3b)

2. Assessment of Suitability

Site contains habitats with the potential to support priority species? Does the site contain local wildlife-rich habitats? Is the site part of:

- UK BAP Priority Habitat;
- a wider ecological network (including the hierarchy of international, national and locally designated sites of importance for biodiversity);
- wildlife corridors (and stepping stones that connect them); and/or
- an area identified by national and local partnerships for habitat management, enhancement, restoration or creation?

Yes / No / Unknown

No

Site is predominantly, or wholly, within or adjacent to an Air Quality Management Area (AQMA)?

Yes / No / Unknown

No

Physical Constraints

Is the site:

Flat or relatively flat / Gently sloping or uneven / Steeply sloping

Flat or relatively flat

Is there existing vehicle access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Is there existing pedestrian access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Is there existing cycle access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Are there any Public Rights of Way (PRoW) crossing the site?

Yes / No / Unknown

No

Are there any known Tree Preservation Orders on the site?

Yes / No / Unknown

No

Are there veteran/ancient trees within or adjacent to the site?

Within / Adjacent / No / Unknown

Yes, adjacent

Are there other significant trees within or adjacent to the site?

Within / Adjacent / No / Unknown

Unknown

Is the site likely to be affected by ground contamination?

Yes / No / Unknown

No

Is there any utilities infrastructure crossing the site i.e. power lines/pipe lines, or is the site in close proximity to hazardous installations?

Yes / No / Unknown

No

Would development of the site result in a loss of social, amenity or community value?

Yes / No / Unknown

No

2. Assessment of Suitability

Accessibility

Distances to community facilities and services should be measured using walking routes from the centre of each site to each facility. The distances are based on the assumption that 400m is equal to approximately 5 minutes' walk and are measured from the edge of the site.

Facilities	Town / local centre / shop	Bus / Tram Stop	Train station	Primary School	Secondary School	Open Space / recreation facilities	Cycle Route
Distance (metres)	<400m	<400m	>1200m	400-1200m	1600-3900m	<400m	>800m

Landscape and Visual Constraints

Is the site low, medium or high sensitivity in terms of landscape?

- **Low sensitivity:** the site has few or no valued features, and/or valued features that are less susceptible to development and can accommodate change.
- **Medium sensitivity:** the site has many valued features, and/or valued features that are susceptible to development but could potentially accommodate some change with appropriate mitigation.
- **High sensitivity:** the site has highly valued features, and/or valued features that are highly susceptible to development. The site can accommodate minimal change.

Medium sensitivity: the site is bounded by a mix of hedgerow and trees with the majority of the site area made up of grassland. The site falls within the Undulating Hills and Valleys Landscape Character Type, and within the Bugbrooke and Daventry Landscape Character Area.

Is the site low, medium or high sensitivity in terms of visual amenity?

- **Low sensitivity:** the site is visually enclosed and has low intervisibility with the surrounding landscape, and/or it would not adversely impact any identified views.
- **Medium sensitivity:** the site is somewhat enclosed and has some intervisibility with the surrounding landscape, and/or it may adversely impact any identified views.
- **High sensitivity:** the site is visually open and has high intervisibility with the surrounding landscape, and/or it would adversely impact any recognised views.

Medium sensitivity - somewhat enclosed due to dense planting along Rugby Road, shielding view of the site from the village's northern gateway. Some visibility from gaps between residential plots along Rugby Road from within the village.

Heritage Constraints

Would the development of the site cause harm to a designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Limited or no impact or no requirement for mitigation

Would the development of the site cause harm to a non-designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Directly impact and/or mitigation not possible - Toft Hill house fronting Rugby Road is a NDHA

Planning Policy Constraints

Is the site in the Green Belt?

Yes / No / Unknown

No

Is the site allocated for a particular use (e.g. housing / employment) or designated as open space in the adopted and / or emerging Local Plan?

Yes / No / Unknown

No

2. Assessment of Suitability

Are there any other relevant planning policies relating to the site?	Policy RA2 Settlements and Countryside Local Plan (Part 2)
Is the site: <i>Greenfield</i> / <i>A mix of greenfield and previously developed land</i> / <i>Previously developed land</i>	A mix of greenfield and previously developed land
Is the site within, adjacent to or outside the existing built up area? <i>Within</i> / <i>Adjacent to and connected to</i> / <i>Outside and not connected to</i>	Adjacent to and connected
Is the site within, adjacent to or outside the existing settlement boundary (if one exists)? <i>Within</i> / <i>Adjacent to and connected to</i> / <i>Outside and not connected to</i>	Adjacent to and connected to the 'secondary service village' envelope
Would development of the site result in neighbouring settlements merging into one another? <i>Yes</i> / <i>No</i> / <i>Unknown</i>	No
Is the size of the site large enough to significantly change the size and character of the existing settlement? <i>Yes</i> / <i>No</i> / <i>Unknown</i>	No

3. Assessment of Availability

Is the site available for development? <i>Yes / No / Unknown</i>	Yes
Are there any known legal or ownership problems such as unresolved multiple ownerships, ransom strips, tenancies, or operational requirements of landowners? <i>Yes / No / Unknown</i>	No
Is there a known time frame for availability? <i>Available now / 0-5 years / 6-10 years / 11-15 years</i>	N/A



4. Assessment of Viability

Is the site subject to any abnormal costs that could affect viability, such as demolition, land remediation or relocating utilities? What evidence is available to support this judgement? <i>Yes / No / Unknown</i>	Yes - proposed demolition of existing dwelling
--	--

5. Conclusions

What is the expected development capacity of the site? (either as proposed by site promoter or estimated through SHLAA/HELAA or Neighbourhood Plan Site Assessment)	3 to 4 dwellings
What is the likely timeframe for development (0-5 / 6-10 / 11-15 / 15+ years)	N/A
Other key information	N/A
Overall rating (Red/Amber/Green) The site is suitable and available The site is potentially suitable, and available . The site is not currently suitable, and available . Are there any known viability issues? Yes / No	Amber
Summary of justification for rating	<p>The site is potentially suitable for partial allocation in the Neighbourhood Plan.</p> <p>The eastern section of the site falls within Barby's built-up area and 'secondary service village' envelope, whereas the western part of the site falls outside but connected with the village's 'secondary service village' envelope.</p> <p>The site, which is part brownfield and part greenfield, has a vehicular and pedestrian access from the existing dwelling on Rugby Road. The dwelling is a non-designated heritage asset which would need to be taken into account in any development proposals.</p> <p>The site is centrally located to Barby's amenities such as the village store, bus stops and playground. Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>Under local plan policy RA2, this site would only be suitable if the local need was not already met on sites within the village confines. Alternatively, if the Neighbourhood Plan proposed a redrawn settlement boundary to include this site this would comply with policy RA2.</p>

NP3

1. Site Details	
Site Reference / Name	NP3
Site Address / Location	Land to the south of School Close, Barby, Rugby, CV23 8TA
Gross Site Area (Hectares)	0.4
SHLAA/SHELAA Reference (if applicable)	n/a
Existing land use	Agricultural (livestock present)
Land use being considered	Housing
Development Capacity (Proposed by Landowner or SHLAA/HELAA)	N/A
Site identification method / source	Neighbourhood Plan Call for Sites
Planning history	DA/1992/0868 - approval of agricultural storage building DA/1989/0417 - refusal of mixed residential development DA/2006/1161 - refusal of outline application for residential development
Neighbouring uses	Residential to the north, highway to the east, rural lane to the south, fishery to the west
 	

2. Assessment of Suitability

Environmental Constraints

Site is predominantly, or wholly, within or adjacent to the following statutory environmental designations:

Yes / No / partly or adjacent

- Ancient Woodland
- Area of Outstanding Natural Beauty (AONB)
- Biosphere Reserve
- Local Nature Reserve (LNR)
- National Nature Reserve (NNR)
- National Park
- Ramsar Site
- Site of Special Scientific Interest (SSSI)*
- Special Area of Conservation (SAC)
- Special Protection Area (SPA)

**Does the site fall within a SSSI Impact Risk Zone and would the proposed use/development trigger the requirement to consult Natural England?*

No

Site is predominantly, or wholly, within or adjacent to the following non statutory environmental designations:

Yes / No / partly or adjacent / Unknown

- Green Infrastructure Corridor
- Local Wildlife Site (LWS)
- Public Open Space
- Site of Importance for Nature Conservation (SINC)
- Nature Improvement Area
- Regionally Important Geological Site
- Other

No

Site falls within a habitats site which may require nutrient neutrality, or is likely to fall within its catchment?

Yes / No

No

Site is predominantly, or wholly, within Flood Zones 2 or 3?

See guidance notes:

- Flood Zone 1: **Low Risk**
- Flood Zone 2: **Medium Risk**
- Flood Zone 3 (less or more vulnerable site use): **Medium Risk**
- Flood Zone 3 (highly vulnerable site use): **High Risk**

Low risk

Site is at risk of surface water flooding?

See guidance notes:

- Less than 15% of the site is affected by medium or high risk of surface water flooding – **Low Risk**
- >15% of the site is affected by medium or high risk of surface water flooding – **Medium Risk**

Low risk

Is the land classified as the best and most versatile agricultural land (Grades 1, 2 or 3a)?

Yes / No / Unknown

Grade 3 (further investigation needed regarding whether grade 3a or 3b)

2. Assessment of Suitability

Site contains habitats with the potential to support priority species? Does the site contain local wildlife-rich habitats? Is the site part of:

- UK BAP Priority Habitat;
- a wider ecological network (including the hierarchy of international, national and locally designated sites of importance for biodiversity);
- wildlife corridors (and stepping stones that connect them); and/or
- an area identified by national and local partnerships for habitat management, enhancement, restoration or creation?

Yes / No / Unknown

No

Site is predominantly, or wholly, within or adjacent to an Air Quality Management Area (AQMA)?

Yes / No / Unknown

No

Physical Constraints

Is the site:

Flat or relatively flat / Gently sloping or uneven / Steeply sloping

Flat or relatively flat

Is there existing vehicle access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Is there existing pedestrian access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Is there existing cycle access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Are there any Public Rights of Way (PRoW) crossing the site?

Yes / No / Unknown

No

Are there any known Tree Preservation Orders on the site?

Yes / No / Unknown

No

Are there veteran/ancient trees within or adjacent to the site?

Within / Adjacent / No / Unknown

Adjacent

Are there other significant trees within or adjacent to the site?

Within / Adjacent / No / Unknown

Unknown

Is the site likely to be affected by ground contamination?

Yes / No / Unknown

No

Is there any utilities infrastructure crossing the site i.e. power lines/pipe lines, or is the site in close proximity to hazardous installations?

Yes / No / Unknown

Yes - water tower, telecommunication and power generator located to south of site. Generator omits fairly loud humming sound.

Would development of the site result in a loss of social, amenity or community value?

Yes / No / Unknown

No

2. Assessment of Suitability

Accessibility

Distances to community facilities and services should be measured using walking routes from the centre of each site to each facility. The distances are based on the assumption that 400m is equal to approximately 5 minutes' walk and are measured from the edge of the site.

Facilities	Town / local centre / shop	Bus / Tram Stop	Train station	Primary School	Secondary School	Open Space / recreation facilities	Cycle Route
Distance (metres)	400-1200m	<400m	>1200m	<400m	>3900m	<400m	>800m

Landscape and Visual Constraints

Is the site low, medium or high sensitivity in terms of landscape?

- **Low sensitivity:** the site has few or no valued features, and/or valued features that are less susceptible to development and can accommodate change.
- **Medium sensitivity:** the site has many valued features, and/or valued features that are susceptible to development but could potentially accommodate some change with appropriate mitigation.
- **High sensitivity:** the site has highly valued features, and/or valued features that are highly susceptible to development. The site can accommodate minimal change.

Medium sensitivity: the site is bounded by a mix of hedgerow and trees with the majority of the site area made up of grassland. The site is also host to a balancing pond which currently serves the homes on School Close to the north. The site falls within the Undulating Hills and Valleys Landscape Character Type, and within the Bugbrooke and Daventry Landscape Character Area.

Is the site low, medium or high sensitivity in terms of visual amenity?

- **Low sensitivity:** the site is visually enclosed and has low intervisibility with the surrounding landscape, and/or it would not adversely impact any identified views.
- **Medium sensitivity:** the site is somewhat enclosed and has some intervisibility with the surrounding landscape, and/or it may adversely impact any identified views.
- **High sensitivity:** the site is visually open and has high intervisibility with the surrounding landscape, and/or it would adversely impact any recognised views.

Medium sensitivity - screened by hedgerow and tree cover along its east and west boundaries, and by housing along its northern boundary. Its position at the southern tip / gateway of the village gives it a prominent position upon arrival to the village. However, the screening and proximity to the village's built area would reduce any visual impact of development.

Heritage Constraints

Would the development of the site cause harm to a designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Limited or no impact or no requirement for mitigation

Would the development of the site cause harm to a non-designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Limited or no impact or no requirement for mitigation

Planning Policy Constraints

Is the site in the Green Belt?

Yes / No / Unknown

No

Is the site allocated for a particular use (e.g. housing / employment) or designated as open space in the adopted and / or emerging Local Plan?

Yes / No / Unknown


No

2. Assessment of Suitability

Are there any other relevant planning policies relating to the site?	Policy RA2 Settlements and Countryside Local Plan (Part 2)
Is the site: <i>Greenfield / A mix of greenfield and previously developed land / Previously developed land</i>	Greenfield
Is the site within, adjacent to or outside the existing built up area? <i>Within / Adjacent to and connected to / Outside and not connected to</i>	Adjacent to and connected
Is the site within, adjacent to or outside the existing settlement boundary (if one exists)? <i>Within / Adjacent to and connected to / Outside and not connected to</i>	Within the existing 'secondary service village' envelope'
Would development of the site result in neighbouring settlements merging into one another? <i>Yes / No / Unknown</i>	No
Is the size of the site large enough to significantly change the size and character of the existing settlement? <i>Yes / No / Unknown</i>	No

3. Assessment of Availability	
Is the site available for development? <i>Yes / No / Unknown</i>	Yes
Are there any known legal or ownership problems such as unresolved multiple ownerships, ransom strips, tenancies, or operational requirements of landowners? <i>Yes / No / Unknown</i>	No
Is there a known time frame for availability? <i>Available now / 0-5 years / 6-10 years / 11-15 years</i>	N/A
4. Assessment of Viability	
Is the site subject to any abnormal costs that could affect viability, such as demolition, land remediation or relocating utilities? What evidence is available to support this judgement? <i>Yes / No / Unknown</i>	No
5. Conclusions	
What is the expected development capacity of the site? (either as proposed by site promoter or estimated through SHLAA/HELAA or Neighbourhood Plan Site Assessment)	N/A
What is the likely timeframe for development (0-5 / 6-10 / 11-15 / 15+ years)	Unknown
Other key information	N/A
Overall rating (Red/Amber/Green) The site is suitable and available The site is potentially suitable, and available . The site is not currently suitable, and available . Are there any known viability issues? <i>Yes / No</i>	Amber
Summary of justification for rating	<p>The site is potentially suitable for allocation in the Neighbourhood Plan.</p> <p>The greenfield site can be accessed through School Close and is connected to the settlement and falls within Barby's 'secondary service village' envelope and therefore aligns with Policy RA2 Part A.</p> <p>The site is also close to local amenities including the primary school, several open spaces, village store and bus stops.</p> <p>There is a balancing pond and agricultural stores on site.</p> <p>There is a water tower, telecommunication mast and associated infrastructure on land abutting the site.</p> <p>Further advice from the Local Planning Authority should be sought to understand whether a buffer for safety clearances, screening or other mitigation would be required to address the impacts of the infrastructure including any noise issues.</p> <p>Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p>

NP4

1. Site Details	
Site Reference / Name	NP4
Site Address / Location	Land to the west of Daventry Road, Barby, Rugby, CV23 8TR
Gross Site Area (Hectares)	3.5
SHLAA/SHELAA Reference (if applicable)	SLAA 72
Existing land use	Agricultural
Land use being considered	Housing
Development Capacity (Proposed by Landowner or SHLAA/HELAA)	N/A
Site identification method / source	Daventry HELAA
Planning history	N/A
Neighbouring uses	Agricultural to the north, residential to the east, residential / agricultural to the south, agricultural to the west
	<p>Could not access site on site visit.</p>

2. Assessment of Suitability

Environmental Constraints

Site is predominantly, or wholly, within or adjacent to the following statutory environmental designations:

Yes / No / partly or adjacent

- Ancient Woodland
- Area of Outstanding Natural Beauty (AONB)
- Biosphere Reserve
- Local Nature Reserve (LNR)
- National Nature Reserve (NNR)
- National Park
- Ramsar Site
- Site of Special Scientific Interest (SSSI)*
- Special Area of Conservation (SAC)
- Special Protection Area (SPA)

**Does the site fall within a SSSI Impact Risk Zone and would the proposed use/development trigger the requirement to consult Natural England?*

No

Site is predominantly, or wholly, within or adjacent to the following non statutory environmental designations:

Yes / No / partly or adjacent / Unknown

- Green Infrastructure Corridor
- Local Wildlife Site (LWS)
- Public Open Space
- Site of Importance for Nature Conservation (SINC)
- Nature Improvement Area
- Regionally Important Geological Site
- Other

No

Site falls within a habitats site which may require nutrient neutrality, or is likely to fall within its catchment?

Yes / No

No

Site is predominantly, or wholly, within Flood Zones 2 or 3?

See guidance notes:

- Flood Zone 1: **Low Risk**
- Flood Zone 2: **Medium Risk**
- Flood Zone 3 (less or more vulnerable site use): **Medium Risk**
- Flood Zone 3 (highly vulnerable site use): **High Risk**

Low risk

Site is at risk of surface water flooding?

See guidance notes:

- Less than 15% of the site is affected by medium or high risk of surface water flooding – **Low Risk**
- >15% of the site is affected by medium or high risk of surface water flooding – **Medium Risk**

Low risk

Is the land classified as the best and most versatile agricultural land (Grades 1, 2 or 3a)?

Yes / No / Unknown

Grade 3 (further investigation needed regarding whether grade 3a or 3b)

2. Assessment of Suitability

Site contains habitats with the potential to support priority species? Does the site contain local wildlife-rich habitats? Is the site part of:

- UK BAP Priority Habitat;
- a wider ecological network (including the hierarchy of international, national and locally designated sites of importance for biodiversity);
- wildlife corridors (and stepping stones that connect them); and/or
- an area identified by national and local partnerships for habitat management, enhancement, restoration or creation?

Yes / No / Unknown

No

Site is predominantly, or wholly, within or adjacent to an Air Quality Management Area (AQMA)?

Yes / No / Unknown

No

Physical Constraints

Is the site:

Flat or relatively flat / Gently sloping or uneven / Steeply sloping

Flat or relatively flat

Is there existing vehicle access to the site, or potential to create suitable access?

Yes / No / Unknown

Potential to create access

Is there existing pedestrian access to the site, or potential to create suitable access?

Yes / No / Unknown

Potential to create access

Is there existing cycle access to the site, or potential to create suitable access?

Yes / No / Unknown

Potential to create access

Are there any Public Rights of Way (PRoW) crossing the site?

Yes / No / Unknown

No

Are there any known Tree Preservation Orders on the site?

Yes / No / Unknown

No

Are there veteran/ancient trees within or adjacent to the site?

Within / Adjacent / No / Unknown

Adjacent

Are there other significant trees within or adjacent to the site?

Within / Adjacent / No / Unknown

Unknown

Is the site likely to be affected by ground contamination?

Yes / No / Unknown

No

Is there any utilities infrastructure crossing the site i.e. power lines/pipe lines, or is the site in close proximity to hazardous installations?

Yes / No / Unknown

No

Would development of the site result in a loss of social, amenity or community value?

Yes / No / Unknown

No

2. Assessment of Suitability

Accessibility

Distances to community facilities and services should be measured using walking routes from the centre of each site to each facility. The distances are based on the assumption that 400m is equal to approximately 5 minutes' walk and are measured from the edge of the site.

Facilities	Town / local centre / shop	Bus / Tram Stop	Train station	Primary School	Secondary School	Open Space / recreation facilities	Cycle Route
Distance (metres)	<400m	<400m	>1200m	<400m	1600-3900m	<400m	>800m

Landscape and Visual Constraints

Is the site low, medium or high sensitivity in terms of landscape?

- **Low sensitivity:** the site has few or no valued features, and/or valued features that are less susceptible to development and can accommodate change.
- **Medium sensitivity:** the site has many valued features, and/or valued features that are susceptible to development but could potentially accommodate some change with appropriate mitigation.
- **High sensitivity:** the site has highly valued features, and/or valued features that are highly susceptible to development. The site can accommodate minimal change.

Medium sensitivity: the site is bounded by a mix of hedgerow and trees with the majority of the site area made up of grassland. A line of mature hedgerow/trees also bisects the site. The site falls within the Undulating Hills and Valleys Landscape Character Type, and within the Bugbrooke and Daventry Landscape Character Area.

Is the site low, medium or high sensitivity in terms of visual amenity?

- **Low sensitivity:** the site is visually enclosed and has low intervisibility with the surrounding landscape, and/or it would not adversely impact any identified views.
- **Medium sensitivity:** the site is somewhat enclosed and has some intervisibility with the surrounding landscape, and/or it may adversely impact any identified views.
- **High sensitivity:** the site is visually open and has high intervisibility with the surrounding landscape, and/or it would adversely impact any recognised views.

Medium sensitivity - screened by tree canopies and hedgerow along its northern, western and southern boundaries. Screened by residential development along most of its eastern boundary. Eastern residences back onto the site and will have a clear view of the site from rear gardens.

Heritage Constraints

Would the development of the site cause harm to a designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Limited or no impact or no requirement for mitigation

Would the development of the site cause harm to a non-designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Limited or no impact or no requirement for mitigation

Planning Policy Constraints

Is the site in the Green Belt?

Yes / No / Unknown

No

Is the site allocated for a particular use (e.g. housing / employment) or designated as open space in the adopted and / or emerging Local Plan?

Yes / No / Unknown

No

2. Assessment of Suitability

Are there any other relevant planning policies relating to the site?	Policy RA2 Settlements and Countryside Local Plan (Part 2)
Is the site: <i>Greenfield / A mix of greenfield and previously developed land / Previously developed land</i>	Greenfield
Is the site within, adjacent to or outside the existing built up area? <i>Within / Adjacent to and connected to / Outside and not connected to</i>	Adjacent to and connected
Is the site within, adjacent to or outside the existing settlement boundary (if one exists)? <i>Within / Adjacent to and connected to / Outside and not connected to</i>	Adjacent to and connected to the 'secondary service village' envelope
Would development of the site result in neighbouring settlements merging into one another? <i>Yes / No / Unknown</i>	No
Is the size of the site large enough to significantly change the size and character of the existing settlement? <i>Yes / No / Unknown</i>	No

3. Assessment of Availability

Is the site available for development?

Yes / No / Unknown

Yes

Are there any known legal or ownership problems such as unresolved multiple ownerships, ransom strips, tenancies, or operational requirements of landowners?

Yes / No / Unknown

No

Is there a known time frame for availability?

Available now / 0-5 years / 6-10 years / 11-15 years

N/A

4. Assessment of Viability

Is the site subject to any abnormal costs that could affect viability, such as demolition, land remediation or relocating utilities? What evidence is available to support this judgement?



Yes / No / Unknown

No

5. Conclusions

What is the expected development capacity of the site? (either as proposed by site promoter or estimated through SHLAA/HELAA or Neighbourhood Plan Site Assessment)	N/A
What is the likely timeframe for development (0-5 / 6-10 / 11-15 / 15+ years)	Unknown
Other key information	N/A
Overall rating (Red/Amber/Green) The site is suitable and available The site is potentially suitable, and available . The site is not currently suitable, and available . Are there any known viability issues? Yes / No	Amber
Summary of justification for rating	<p>The site is potentially suitable for partial allocation in the Neighbourhood Plan.</p> <p>The site is located to the west of Barby and is outside the 'secondary service village' envelope, although it is connected to the settlement with residential development from Rugby Road backing onto the site.</p> <p>While the site is not currently accessible for vehicles, pedestrians or cycle users, there is an opportunity to provide this via Daventry Road. However, this would require agreement from neighbouring landowners.</p> <p>Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>Development of the site in its entirety would adversely impact the character of the village and its surrounding landscape. A smaller development area would reduce the impact on landscape particularly due to its central position to local amenities. Development would also be somewhat screened from within the village due to existing dwellings along Daventry Road, as well as the mature hedgerows and trees that surround its landscape facing edges to the north, south and west. The potential for development to impact on the significance and settings of the heritage assets and their settings would need further investigation, however, development could be designed sensitively or screened to avoid impacting heritage assets.</p> <p>Under local plan policy RA2, this site would only be suitable if the local need was not already met on sites within the village confines. Alternatively, if the Neighbourhood Plan proposed a redrawn settlement boundary to include this site this would comply with policy RA2.</p>

NP5

1. Site Details	
Site Reference / Name	NP5
Site Address / Location	Land to the north of Longdown Lane, Barby, Rugby, CV23 8TG
Gross Site Area (Hectares)	4.5
SHLAA/SHELAA Reference (if applicable)	n/a
Existing land use	Agricultural (livestock present)
Land use being considered	Housing
Development Capacity (Proposed by Landowner or SHLAA/HELAA)	N/A
Site identification method / source	Neighbourhood Plan Call for Sites
Planning history	WNDPD/2022/10041 - Prior approval for change of use of agricultural to one dwelling - prior approval refused
Neighbouring uses	Agricultural and fishery to the north, highway to the east, highway to the south, agricultural to the west
 	

2. Assessment of Suitability

Environmental Constraints

Site is predominantly, or wholly, within or adjacent to the following statutory environmental designations:

Yes / No / partly or adjacent

- Ancient Woodland
- Area of Outstanding Natural Beauty (AONB)
- Biosphere Reserve
- Local Nature Reserve (LNR)
- National Nature Reserve (NNR)
- National Park
- Ramsar Site
- Site of Special Scientific Interest (SSSI)*
- Special Area of Conservation (SAC)
- Special Protection Area (SPA)

**Does the site fall within a SSSI Impact Risk Zone and would the proposed use/development trigger the requirement to consult Natural England?*

No

Site is predominantly, or wholly, within or adjacent to the following non statutory environmental designations:

Yes / No / partly or adjacent / Unknown

- Green Infrastructure Corridor
- Local Wildlife Site (LWS)
- Public Open Space
- Site of Importance for Nature Conservation (SINC)
- Nature Improvement Area
- Regionally Important Geological Site
- Other

Partly or adjacent - Local Green Space in Made Neighbourhood Plan to south of site

Site falls within a habitats site which may require nutrient neutrality, or is likely to fall within its catchment?

Yes / No

No

Site is predominantly, or wholly, within Flood Zones 2 or 3?

See guidance notes:

- Flood Zone 1: **Low Risk**
- Flood Zone 2: **Medium Risk**
- Flood Zone 3 (less or more vulnerable site use): **Medium Risk**
- Flood Zone 3 (highly vulnerable site use): **High Risk**

Low risk

Site is at risk of surface water flooding?

See guidance notes:

- Less than 15% of the site is affected by medium or high risk of surface water flooding – **Low Risk**
- >15% of the site is affected by medium or high risk of surface water flooding – **Medium Risk**

Low risk

Is the land classified as the best and most versatile agricultural land (Grades 1, 2 or 3a)?

Yes / No / Unknown

Grade 3 (further investigation needed regarding whether grade 3a or 3b)

2. Assessment of Suitability

Site contains habitats with the potential to support priority species? Does the site contain local wildlife-rich habitats? Is the site part of:

- UK BAP Priority Habitat;
- a wider ecological network (including the hierarchy of international, national and locally designated sites of importance for biodiversity);
- wildlife corridors (and stepping stones that connect them); and/or
- an area identified by national and local partnerships for habitat management, enhancement, restoration or creation?

Yes / No / Unknown

No

Site is predominantly, or wholly, within or adjacent to an Air Quality Management Area (AQMA)?

Yes / No / Unknown

No

Physical Constraints

Is the site:

Flat or relatively flat / Gently sloping or uneven / Steeply sloping

Flat or relatively flat

Is there existing vehicle access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Is there existing pedestrian access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Is there existing cycle access to the site, or potential to create suitable access?

Yes / No / Unknown

Yes

Are there any Public Rights of Way (PRoW) crossing the site?

Yes / No / Unknown

No

Are there any known Tree Preservation Orders on the site?

Yes / No / Unknown

No

Are there veteran/ancient trees within or adjacent to the site?

Within / Adjacent / No / Unknown

Adjacent

Are there other significant trees within or adjacent to the site?

Within / Adjacent / No / Unknown

Unknown

Is the site likely to be affected by ground contamination?

Yes / No / Unknown

No

Is there any utilities infrastructure crossing the site i.e. power lines/pipe lines, or is the site in close proximity to hazardous installations?

Yes / No / Unknown

No

Would development of the site result in a loss of social, amenity or community value?

Yes / No / Unknown

No

2. Assessment of Suitability

Accessibility

Distances to community facilities and services should be measured using walking routes from the centre of each site to each facility. The distances are based on the assumption that 400m is equal to approximately 5 minutes' walk and are measured from the edge of the site.

Facilities	Town / local centre / shop	Bus / Tram Stop	Train station	Primary School	Secondary School	Open Space / recreation facilities	Cycle Route
Distance (metres)	400-1200m	<400m	>1200m	<400m	>3900m	<400m	>800m

Landscape and Visual Constraints

Is the site low, medium or high sensitivity in terms of landscape?

- **Low sensitivity:** the site has few or no valued features, and/or valued features that are less susceptible to development and can accommodate change.
- **Medium sensitivity:** the site has many valued features, and/or valued features that are susceptible to development but could potentially accommodate some change with appropriate mitigation.
- **High sensitivity:** the site has highly valued features, and/or valued features that are highly susceptible to development. The site can accommodate minimal change.

Medium sensitivity: the site is bounded by a mix of hedgerow and trees with the majority of the site area made up of grassland. The site falls within the Undulating Hills and Valleys Landscape Character Type, and within the Bugbrooke and Daventry Landscape Character Area.

Is the site low, medium or high sensitivity in terms of visual amenity?

- **Low sensitivity:** the site is visually enclosed and has low intervisibility with the surrounding landscape, and/or it would not adversely impact any identified views.
- **Medium sensitivity:** the site is somewhat enclosed and has some intervisibility with the surrounding landscape, and/or it may adversely impact any identified views.
- **High sensitivity:** the site is visually open and has high intervisibility with the surrounding landscape, and/or it would adversely impact any recognised views.

High sensitivity - large site that extends along Longdown Lane, where most of it is detached and far from the village's built area. Also visible from several angles of the surrounding landscape due to sloping topography from north east to south west with visual particularly prominent going northwards along Longdown Lane. Prominent position at Barby's southern gateway.

Heritage Constraints

Would the development of the site cause harm to a designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Some impact, and/or mitigation possible (Grade II Listed Barby Corn Mill to the north of site)

Would the development of the site cause harm to a non-designated heritage asset or its setting?

Directly impact and/or mitigation not possible /
Some impact, and/or mitigation possible /
Limited or no impact or no requirement for mitigation

Limited or no impact or no requirement for mitigation

Planning Policy Constraints

Is the site in the Green Belt?

Yes / No / Unknown

No

Is the site allocated for a particular use (e.g. housing / employment) or designated as open space in the adopted and / or emerging Local Plan?

Yes / No / Unknown

No

2. Assessment of Suitability

Are there any other relevant planning policies relating to the site?	Policy RA2 Settlements and Countryside Local Plan (Part 2)
Is the site: <i>Greenfield / A mix of greenfield and previously developed land / Previously developed land</i>	Greenfield
Is the site within, adjacent to or outside the existing built up area? <i>Within / Adjacent to and connected to / Outside and not connected to</i>	Adjacent to the 'secondary service village' envelope
Is the site within, adjacent to or outside the existing settlement boundary (if one exists)? <i>Within / Adjacent to and connected to / Outside and not connected to</i>	Adjacent to the 'secondary service village' envelope
Would development of the site result in neighbouring settlements merging into one another? <i>Yes / No / Unknown</i>	No
Is the size of the site large enough to significantly change the size and character of the existing settlement? <i>Yes / No / Unknown</i>	No

3. Assessment of Availability	
Is the site available for development? <i>Yes / No / Unknown</i>	Yes
Are there any known legal or ownership problems such as unresolved multiple ownerships, ransom strips, tenancies, or operational requirements of landowners? <i>Yes / No / Unknown</i>	No
Is there a known time frame for availability? <i>Available now / 0-5 years / 6-10 years / 11-15 years</i>	N/A
4. Assessment of Viability	
Is the site subject to any abnormal costs that could affect viability, such as demolition, land remediation or relocating utilities? What evidence is available to support this judgement? <i>Yes / No / Unknown</i>	No
5. Conclusions	
What is the expected development capacity of the site? (either as proposed by site promoter or estimated through SHLAA/HELAA or Neighbourhood Plan Site Assessment)	N/A
What is the likely timeframe for development (0-5 / 6-10 / 11-15 / 15+ years)	Unknown
Other key information	N/A
Overall rating (Red/Amber/Green) The site is suitable and available The site is potentially suitable, and available . The site is not currently suitable, and available . Are there any known viability issues? <i>Yes / No</i>	Amber
Summary of justification for rating	<p>The site is potentially suitable for partial allocation in the Neighbourhood Plan.</p> <p>The site is adjacent to the 'secondary service village' envelope.</p> <p>The site is adjacent to a water tower, telecommunication mast and associated infrastructure, separated by a rural lane and footpath. A single existing agricultural building is also located on the eastern side.</p> <p>The northern boundary of the site abuts Grade II Listed Barby Corn Mill.</p> <p>Development may have adverse impacts on the setting of this listed building, although this could potentially be addressed through site layout, design and landscaping.</p> <p>Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>The site's topography makes its visibility particularly pronounced from several locations, particularly from Longdown Lane towards Barby, which is marked as an important view in the Made Neighbourhood Plan. The topography of the eastern section is flatter and in closer proximity to Barby's built-up area, village envelope and its amenities, making this section potentially suitable for partial allocation.</p> <p>Under local plan policy RA2, this site would only be suitable if the local need was not already met on sites within the village confines. Alternatively, if the Neighbourhood Plan proposed a redrawn settlement boundary to include this site this would comply with policy RA2.</p>

Appendix B SLAA Review Table

SLAA Review Table

Site Ref.	Site size (gross site area, hectare)	Proposed land use	Site capacity	SLAA conclusions Is the site suitable, available and achievable for the development proposed? What is the justification for this conclusion?	Are the SLAA conclusions reasonable to be carried forward to the Neighbourhood Plan Site Assessment? ¹	Neighbourhood Plan Site Assessment conclusion
SLAA 71 Land opposite the C of E primary school, Barby	2.01	Residential	48 dwellings	<ul style="list-style-type: none"> Subject to the strategy taken forward in the WNSP and consideration of the site-specific issues particularly relating to heritage impacts, the site might be considered to be suitable for development however this will need further consideration in subsequent part 2 plans that follow the WNSP. The site is available. Key points noted in the SLAA: Greenfield site, scale of development in of keeping with village; social - adjacent to village, however the village only contains some services (primary education); economic - some additional use of services and facilities in village but limited due to their limited nature The site has direct access to Daventry Road. Daventry Road leads directly to Rugby [ca. 3.5 mi north] and to Daventry [ca. 4.5 mi south]. Daventry is the nearest administrative centre and Northampton, the regional centre, ca. 18 mi south-east. The site lays south-east of Barby, east of Daventry Road. In this village there are only limited services available, such as a primary and nursery school, a village hall, a church and a number of small business. Car dependent access to further services with the 	<p>The SLAA conclusions can be applied to the Neighbourhood Plan site assessment.</p> <p>However, the planning decisions relating to refusal of an application for construction of 12 dwellings (DA/2014/0796) are relevant and should be taken into account.</p> <p>The whole site would be disproportionate in line with the WNSP Spatial Option 6 (Rural Areas) so a smaller site could be considered for development to meet an identified small scale need in the Neighbourhood Plan.</p>	<p>Development of the whole site would be disproportionate in line with the WNSP Spatial Option 6 (Rural Areas). However, a section of the site adjacent to Daventry Road could be potentially suitable for development in order to meet an identified small-scale local need, if the landowner was in agreement. The potential for development to impact on the significance and settings of the heritage assets and their settings would need further investigation, including a Grade II listed building to the west of the site, however, development could be designed sensitively or screened to avoid impacting its setting.</p> <p>Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>There is an existing access, and the site is adjacent to the secondary service village envelope.</p> <p>Under local plan policy RA2, this site would only be suitable if the local need was not already met on sites within the village confines. Alternatively, if the</p>

¹ This includes a consideration of how the conclusions can be applied to the Neighbourhood Planning Site Assessment, e.g. Has the site been excluded or assessed as unsuitable due to size – too large or small? Does more recent or additional information now exist which could change the HELAA findings? Are the HELAA conclusions justified by evidence?

Site Ref.	Site size (gross site area, hectare)	Proposed land use	Site capacity	SLAA conclusions Is the site suitable, available and achievable for the development proposed? What is the justification for this conclusion?	Are the SLAA conclusions reasonable to be carried forward to the Neighbourhood Plan Site Assessment?¹?	Neighbourhood Plan Site Assessment conclusion
				<p>nearest centres, Rugby [ca. 3.5km away], and Daventry [ca. 7km away]</p> <ul style="list-style-type: none"> No on-site heritage designations, however, site is close to a number of listed buildings and a SM. Development has the potential to impact on the significance and settings of the heritage assets and their settings depending on topography and inter-visibility. Grade 3 agricultural land 		Neighbourhood Plan proposed a redrawn settlement boundary to include this site this would comply with policy RA2.
SLAA 72 Land at the rear of Daventry Road, Barby	3.89	Residential	70 dwellings	<p>Subject to the strategy taken forward in the WNSP and consideration of the site-specific issues particularly relating to heritage impacts, the site might be considered to be suitable for development however this will need further consideration in subsequent part 2 plans that follow the WNSP. The site is available.</p> <p>Key points noted in SLAA:</p> <ul style="list-style-type: none"> Greenfield site, scale of development in of keeping with village; social - adjacent to village, however the village only contains some services (primary education); economic - some additional use of services and facilities in village but limited due to their limited nature The site lays south-west of Barby, west of Daventry Road, but not directly on Daventry Road. In this village there are only limited services available, such as a primary and nursery [pre-] school, a village hall, a church and a number of small businesses. Car dependent access to further services with the nearest centres, Rugby [ca. 3.5km away], and Daventry [ca. 7km away]. Access arrangements are not entirely clear at the moment as the site does not seem to have any direct access to existing roads. The most likely access option would be via a garden or the courtyard and current access point to Daventry Road of a farm yard at Daventry Road to the north-west of the site [Barby, Rugby CV23 8TR]. Daventry Road leads directly to Rugby [ca. 3.5 mi north] and to Daventry [ca. 4.5 mi south]. Daventry is the nearest administrative centre and 	The SLAA conclusions can be applied to the Neighbourhood Plan site assessment. However, development of the whole site would be disproportionate in line with the WNSP Spatial Option 6 (Rural Areas). A smaller portion of the site could be potentially suitable for development in order to meet an identified small-scale local need, if the landowner was in agreement and if identified constraints could be resolved or mitigated.	<p>The site is potentially suitable for partial allocation in the Neighbourhood Plan. The site is located to the west of Barby and is outside the 'secondary service village' envelope, although it is connected to the settlement with residential development from Rugby Road backing onto the site.</p> <p>While the site is not currently accessible for vehicles or pedestrians, there is an opportunity to provide this via Daventry Road. However, this may require securing a right of way over third party land and would therefore need agreement with the relevant landowner. Development on this site may result in the loss of Best and Most Versatile Agricultural Land.</p> <p>Development of the site in its entirety would adversely impact the character of the village and its surrounding landscape. A smaller development area would reduce the impact on landscape particularly due to its central position to local amenities. Development would also be somewhat screened from within the village due to existing dwellings along Daventry Road, as well as the mature hedgerows and trees that surround its landscape facing edges to the north, south and west.</p> <p>The potential for development to impact on the significance and settings of the heritage assets and their settings would need further investigation, however, development could be designed</p>

Site Ref.	Site size (gross site area, hectare)	Proposed land use	Site capacity	SLAA conclusions Is the site suitable, available and achievable for the development proposed? What is the justification for this conclusion?	Are the SLAA conclusions reasonable to be carried forward to the Neighbourhood Plan Site Assessment? ¹ ?	Neighbourhood Plan Site Assessment conclusion
				<p>Northampton, the regional centre, ca. 18 mi south-east.</p> <ul style="list-style-type: none"> No specific on-site heritage designations, however, site is close to a number of listed buildings and a SM. Development has the potential to impact on the significance and settings of the assets and their settings depending on topography and inter-visibility. Grade 3 agricultural land 		<p>sensitively or screened to avoid impacting heritage assets.</p> <p>Under local plan policy RA2, this site would only be suitable if the local need was not already met on sites within the village confines. Alternatively, if the Neighbourhood Plan proposed a redrawn settlement boundary to include this site this would comply with policy RA2.</p>

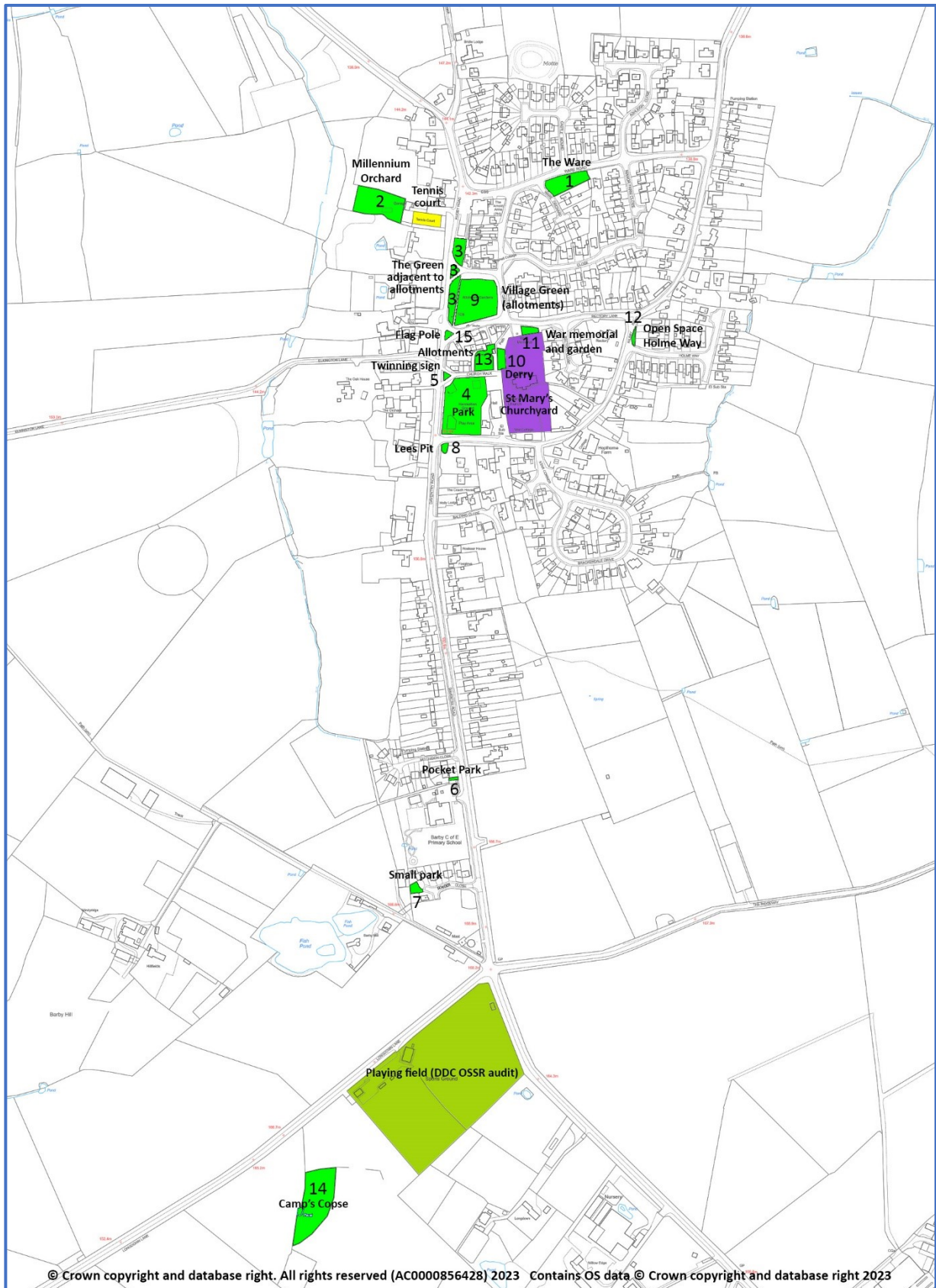
Source: West Northamptonshire Strategic Land Availability Assessment / AECOM

aecom.com

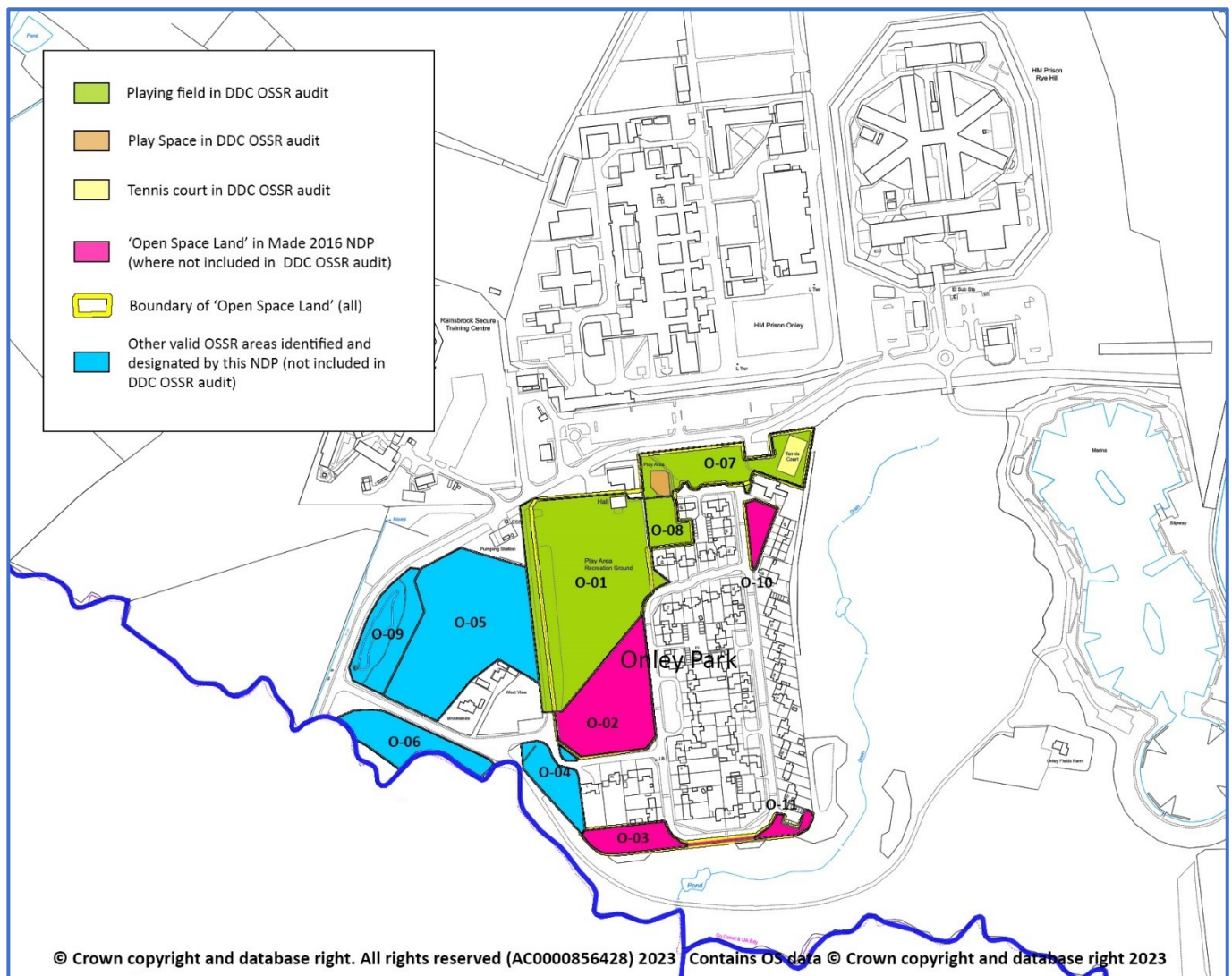
Appendix D1

INVENTORY of LOCAL GREEN SPACES and OPEN SPACE, SPORT & RECREATION SITES

1. Location map, Barby



2. Location map, Onley



3. Evidence (with reference to NPPF criteria for Local Green Space)

NOTE: Ownership and management of Local Green Spaces (LGS) and Open Space, Sport & Recreation (OSSR) sites in Barby has been recorded here where known (or can safely be inferred). Barby Townlands and Education Charity (BTEC) is the present-day, direct, descendant of a series of charities and trusts set up after the time of the Parliamentary Enclosure Award of 1778 to assume ownership of a most or all of the 'common land' in the parish. The BTEC records are incomplete, meaning this Neighbourhood Plan's audit of LGS/OSSR ownership cannot be definitive.

Some sites are now included in Highways land. A number of the LGSs and OSSRs in Barby are leased from BTEC by Barby and Onley Parish Council (BOPC) and are managed by BOPC; others are also managed by BOPC.

The following list records ownership/management only where known; Policies ENV 1 (LGS) or ENV 2 (OSSR) are to be applied, as appropriate, for all the sites listed.

1. The Ware, Ware Road, Barby



General description	<p>Formerly a pond used for watering animals, also used by the nearby wheelwright while fitting iron tyres on carts. Now filled in, converted to amenity open space and used regularly for play and leisure. Contributes to the open character of the village.</p> <p>Community wildflower meadow area, mature trees and maintained grass, seating.</p> <p>Local Green Space in 2016 Neighbourhood Plan.</p>
Special to the community	High, as green open space
Proximity	In Barby village
Beauty	High
Tranquillity	Moderate; open to the road
Public access status, ownership, etc.	Local Green Space in 2016 NDP; confirmed by this Review
Recreational value	Managed by Barby & Onley Parish Council. Full open public access
Historic significance	Site of an important feature of the early 20 th century village economy
Wildlife significance	Focus for biodiversity within the settlement, interface for nature with the community. Perennial and annual meadow, managed by seasonal mowing, for insect biodiversity

2. Millennium Orchard, Rugby Road, Barby (behind tennis court)



General description	Paddock (3 ha) now planted as community orchard, with seating, barbecue, petanque pit. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	High
Proximity	In Barby village
Beauty	High
Tranquillity	High; away from roads, peaceful location and ambience
Public access status, ownership, etc.	Owned and managed by Barby Townlands & Educational Charity. Full public access. Used for community events and informal gatherings. Trees managed by BTEC.
Recreational value	High
Historic significance	Site of the village poorhouse
Wildlife significance	High: adjacent to open countryside, trees provide pollen for bees and other insects; public interface with nature

3 Green adjacent to allotments, Rugby Road (in three parts)



General description	Wide grass verge near the shop, with wildflower meadow and Japanese donated Cherry Trees. Bench. Parish Council and Townlands Charity Notice boards located here. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	High
Proximity	In Barby village
Beauty	Medium
Tranquillity	Medium-low; adjacent to the road
Public access status, ownership, etc.	Managed by Barby & Onley Parish Council. Unrestricted access
Recreational value	Moderate, as amenity open space
Historic significance	n/a
Wildlife significance	Moderate

4. The Park, Daventry Road, Barby



General description	Recreation Ground, known locally as 'the Park'. Informal sport, pitches, play and fitness equipment. Amenity grass, mature trees, boundary hedges. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Yes
Proximity	In the village
Beauty	High
Tranquillity	Moderate
Public access status, ownership, etc.	Owned by Barby Townlands and Education Charity (as 'Barby Play Area'), leased to and managed by B&O Parish Council. Full public access. Used for community events.
Recreational value	High
Historic significance	Until 1972 this was the site of the village allotments
Wildlife significance	Moderate

5. Twinning Sign open space, Church Walk, Barby



General description	Small amenity green space next to the Park and fronting houses Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Local landmark – the village sign is combined with the signage recording the twinning of Barby with Vulaines-sur-Seine
Proximity	Centre of the village
Beauty	Moderate
Tranquillity	Moderate
Public access status, ownership, etc.	Open access. Managed by Barby & Onley Parish Council
Recreational value	Moderate
Historic significance	n/a
Wildlife significance	Moderate

6. Pocket Park, Daventry Road, Barby



General description	Small, quite enclosed, intimate open space next to the school, with a circle of bench seats surrounding an area paved with setts. Shrubs to borders. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Yes
Proximity	In the village.
Beauty	Moderate
Tranquillity	Peaceful sitting area
Public access status, ownership, etc.	Open access. Managed by Barby & Onley Parish Council
Recreational value	Moderate
Historic significance	n/a
Wildlife significance	Moderate

7. Small Park, School Close, Barby



General description	Small fenced green space with mature shrubberies surrounding grassed area. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Moderate
Proximity	In Barby village
Beauty	Moderate
Tranquillity	Moderate; end of a quiet residential street
Public access status, ownership, etc.	Provided as part of the School Close development (covenant applies), now owned and managed by Barby Parish Council. Unrestricted access.
Recreational value	Moderate, as amenity green space
Historic significance	n/a
Wildlife significance	Moderate

8. Lees Pit, corner of Daventry Road and Kilsby Road, Barby



General description	Small amenity green space, with seating and adjacent commemorative Queen Elizabeth II jubilee bench Previously the site of a small pond, now filled in. Ornamental trees and shrubs, lawned areas. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Moderate
Proximity	In Barby village
Beauty	Moderate
Tranquillity	Moderate; peaceful, contemplative rest area
Public access status, ownership, etc.	Open access. Managed by Barby & Onley Parish Council
Recreational value	Moderate
Historic significance	Takes its name from a family who owned Fairholme (house opposite in Daventry Road). It was a pond used for watering livestock on their way through Barby to Rugby Market. It was filled in during the 1950s.
Wildlife significance	Moderate; management is as a small 'park'

9. Village Green: Allotments, The Green, Barby



General description	The heart of the village. Well used allotments. Significant asset to the village. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Yes
Proximity	In Barby village; central
Beauty	Moderate
Tranquillity	High
Public access status, ownership, etc.	Owned and managed by Barby Townlands & Educational Charity. Plot occupation is frequently at full capacity. Open to the public
Recreational value	High
Historic significance	The 1900 Ordnance Survey map shows this plot of land as being open and contiguous with the surrounding roads (still called 'The Green'); it had a public pump in a small enclosure close to its western boundary. This appears to be the origin of the continued informal use of the 'village green' name
Wildlife significance	Moderate

10. Derry, Church Walk, Barby



General description	Small green open space and historic lane in the heart of the historic village. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Yes
Proximity	In Barby village; central
Beauty	Moderate (rewilding)
Tranquillity	Moderate (part of the setting of the church and churchyard)
Public access status, ownership, etc.	The lane is open access and part of the walking route into the churchyard. The wild area is fenced but visible to be appreciated as part of the setting of this historic corner of the village. Managed by Barby & Onley Parish Council
Recreational value	Moderate
Historic significance	Historically (1840s; 2 nd edition Ordnance Survey, 1900) a lane and row of tiny cottages and yards, adjacent to the churchyard. The last cottage was demolished in the 1940s
Wildlife significance	Moderate or high. Part of the churchyard surroundings, much of the biodiversity recorded for the latter will also be using this area.

11. War Memorial Garden, Rectory Lane, Barby



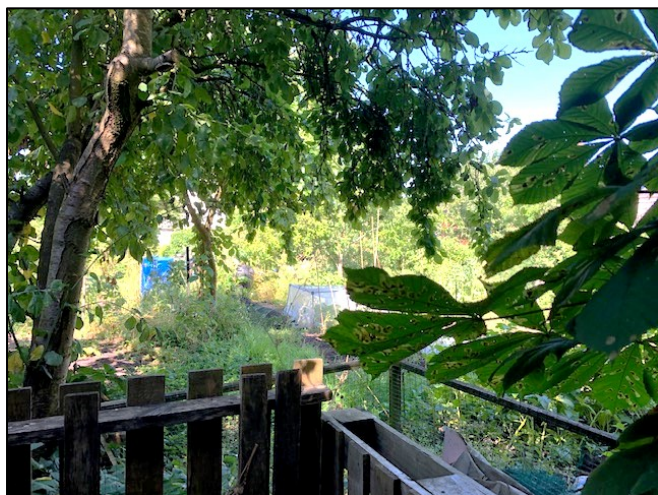
General description	Well-tended ornamental and commemorative green space in the centre of the village. Two memorial seats, 'fallen soldier' statue. Formal plantings, mature trees and shrubs, lawns, flower planters, etc. Visually contiguous with the churchyard. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Yes
Proximity	In Barby village; central
Beauty	High
Tranquillity	High
Public access status, ownership, etc.	Full open access. Managed by Barby & Onley Parish Council
Recreational value	High, as important open space
Historic significance	Registered War Memorial 14845 dating from 1920 commemorates 1 st and 2 nd world wars
Wildlife significance	Moderate. Part of the churchyard surroundings, much of the biodiversity recorded for the latter will also be using this area.

12. Open Space, Holme Way, Barby



General description	Managed grass and ornamental trees (birches, cherries etc.) providing a shared green frontage for nos. 3 - 9 Holme Way. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Yes: for residents of Holme Way, it provides a green open space setting for the houses
Proximity	In Barby village
Beauty	Moderate
Tranquillity	Moderate
Public access status, ownership, etc.	Open access. Managed by Barby & Onley Parish Council
Recreational value	Moderate, as open space
Historic significance	n/a
Wildlife significance	Moderate

13. Allotments, Kilsby Road/Church Walk, Barby



General description	Small area of mature allotments at rear of three houses on Church Walk. Local Green Space in 2016 Neighbourhood Plan.
Special to the community	Yes
Proximity	In Barby village
Beauty	Yes, as productive gardens/allotments
Tranquillity	High
Public access status, ownership, etc.	Owned by and managed by Barby Townlands & Educational Charity.
Recreational value	High
Historic significance	n/a
Wildlife significance	High, as a green oasis but also for its adjacency to the churchyard, The Park, and other green spaces in the centre of the village.

14. Camp's Copse



General description	Two areas of deciduous woodland, part of a larger area owned by the Townlands Charity. Developing habitat, also small pond, access paths. Local Green Space in 2016 Neighbourhood Plan.
Proximity	Open countryside, c. 1 km south of Barby village centre
Special to the community	Wooded area on footpath to Braunston
Beauty	Wooded area with Public footpath & small dew pond and seated area
Tranquillity	Peaceful
Public access status, ownership, etc.	Owned and managed by Barby Townlands and Education Charity. Open access to all. PRoW crosses the site.
Recreational value	High. Regular use (dog-walking, informal recreation, volunteer groups)
Historic significance	Previously a small pasture field. Camp's Copse was planted in memory of Graham Camp (died 1991), a former Chairman of Barby Parish Council
Wildlife significance	High. Woodland flora, birds, invertebrates.

15. Flag pole open space, Rectory Lane, Barby,



General description	Small triangular 'green' on the corner of Rectory Lane. Local Green Space in 2016 Neighbourhood Plan Used on ceremonial occasions. Significant asset to the village.
Proximity	In Barby village
Special to the community	Yes
Beauty	Moderate
Tranquillity	Moderate
Public access status, ownership, etc.	Open access. Managed by Barby & Onley Parish Council
Recreational value	Moderate
Historic significance	n/a
Wildlife significance	low

B-01 Barby playing field, Longdown Lane, Barby CV23 8TE



General description	Large sports and recreation field. Amenity grass, cricket pitches, trees and hedges. Skateboard ramp, pavilion. Important viewpoint.
Special to the community	Yes
Proximity	Just beyond Barby village confines
Beauty	High: intrinsic and for views
Tranquillity	Moderate-high
Public access status, ownership, etc.	Owned by Barby Townlands & Educational Charity, leased to and managed by the parish council. Full public access. Home of Barby Cricket Club.
Recreational value	Very high. <i>Playing</i> field in DDC (WNC) OSSR audit
Historic significance	Established 1970s, now part of most local generations' social history
Wildlife significance	Good: community interface with nature, in wildlife corridor

B-02 Tennis Court, Rugby Road, Barby



General description	Tennis court and access area.
Special to the community	Yes
Proximity	In Barby village
Beauty	n/a
Tranquillity	n/a
Public access status, ownership, etc.	Owned by Barby Townlands & Educational Charity, leased to and managed by the parish council. Full public access, free to use.
Recreational value	High
Historic significance	n/a
Wildlife significance	n/a

B-03 St Mary's Churchyard



General description	Churchyard providing the setting for this Grade II* Listed Building	
Special to the community	Yes	
Proximity	In Barby village	
Special to the community	Yes	
Beauty	High	
Tranquillity	High	
Public access status, ownership, etc.	Open access. Church of England, Peterborough diocese	
Recreational value	Functions as an informal public garden; also visits for historical and genealogical research <i>Religious grounds</i> in DDC (WNC) OSSR audit	
Historic significance	High. The church is Listed Building Grade II*1076469. The churchyard is on an early medieval (probably Saxon) religious site; the oldest parts of the present church are c.1300; constructed with a mixture of local sandstone, limestone and ironstone, giving it an attractive reddish-pink appearance. The present burial ground probably dates from the 17 th century. Georgian, Victorian and later headstones.	
Wildlife significance	High. Several BAP species birds, bats	
Special to the community		Very important for the residents to feel more open as they reside in the small bungalows. The area helps with the wellbeing and health of these residents.
Proximity		Onley, central

Beauty	For the residents it really helps to feel they live in a fabulous place with the green trees and open green area. It also helps with the wildlife of Onley Park.
Tranquillity	The green space ensures peace and tranquillity due to the village itself being very tranquil.
Public access status, ownership, etc.	Used daily by the residents and at times by some public from the local area. Owned by the Parish Council
Recreational value	Invaluable to the community.
Historic significance	The village was once used in WW11 prisoner of war camp and ammunition site has great value to the village
Wildlife significance	There is an abundance of wildlife at Onley Park Village, we are extremely lucky to have so much on our doorstep, Foxes, hedgehogs, different species of deer, badger sets, woodpeckers we know of 3 types, several different owls, bats, Rabbits to name but a few. There are too many to name them all. So many types of species of birds that we are lucky who nest here. Our village has very small amounts of light pollution and very small amount of through traffic within the actual village which helps with the wildlife habitat.

Due to the size of Onley, many of the features that describe and define an Open space e.g. tranquillity, historical significance and wildlife are the same for all the Open Spaces around the village

NAME

O-01 Onley Open Space: main playing field

View from the north looking down the playing field

View from south looking up the playing field



Memorial bench to Queen Elizabeth II for her Platinum Jubilee 2022 situated to the far southeast of the sports/playing field.



Site	North of village.
Address/Location	North front of village CV23 8AW
General description	Playing field, exercise equipment and other activities.
Special to the community	Sports field used daily by many villagers. It is mainly used as a football field especially by the younger generation. HMP Onley Prison request permission to use the field for football events and family fun days which are popular with villagers. Occasionally a small group carry out dog obedience training when demand dictates.
Proximity	Onley, North of village.
Beauty	For the village it is a fabulous place, as it is such a large open space for the residents to use.
Tranquillity	As with all the Open spaces in the village & like the village itself (with no through traffic), the

	playing field is a peaceful and tranquil place
Public access status, ownership, etc.	Used daily by village residents and at times by people from the local area. Owned by the Parish Council
Recreational value	Invaluable to the community in its entirety.
Historic significance	The site where the village is now was used during and after World War II, firstly as a supply depot, then as a prisoner-of-war camp
Wildlife significance	There is an abundance of wildlife at Onley Park Village, we are extremely lucky to have so much on our doorstep. Wildlife includes, foxes, hedgehogs, different species of deer, badgers, at least 3 types of woodpeckers, several different species of owls, bats, and rabbits etc. Many different species of birds nest in the village. Wildlife is attracted to the village due to the small amounts of light pollution and very small amount of through traffic within the actual village

NAME

O-02 Onley Open Space: South of main playing field

View from entrance to the village, Defibulator located in old telephone box.



View from corner near post box

View showing Memorial bench and unknown soldier



Open Space Land, Onley (southern edge of estate)

Site	Onley Park open space with mature tree.
Address/Location	South of main playing field CV23 8AW
General description	There are many mature trees of different species and a wildflower area at the entrance on the left side of the park. Due to the risk of flooding, caused by heavy clay & high water table, these trees assist with maintaining water levels in the village and hence reducing the impact of flooding.
Special to the community	The trees house different wildlife eg many species of birds & squirrel's etc. The trees bring immense joy to all residents and village children enjoy collecting conkers when they fall from the trees. There are picnic benches and tree swings , both of which are used regularly by the community in good weather. Meetings and gatherings are held within this green spaced area as well.
Beauty	For the village is it a fabulous place and a large open space area for the villagers to utilise.
Tranquillity	As O-01
Public access status, ownership, etc.	Used daily by the residents and at times by public from the local area. Owned by the Parish Council
Recreational value	Invaluable open space for the community.
Historic significance	As O-01
Wildlife significance	As O-01
NAME O-03 Open space land South of the Onley Park	



Site	Onley Park green space CV23 8AN
Address/Location	Onley Park, CV23 8AN
General description	Open space with trees and hedges to the left and bottom. Apart from 1 foot strip to the right the land is owned by the Council the 1 foot strip is owned by the house in the picture.
Special to the community	The land is maintained regularly by the contractor who looks after the entire village green and open spaces, it adds to the beauty of the village.
Beauty	The land is vulnerable to flooding because of heavy clay and high water table but the trees aid in minimising this Very scenic area
Tranquillity	As O-01
Public access status, ownership, etc.	Residents use the Open space daily for dog walking it is also a wildlife corridor
Recreational value	Invaluable to the community.
Historic significance	As O-01
Wildlife significance	As O-01
NAME O-04 Additional land South of the Onley Park	



Site	Onley Park additional open space.
Address/Location	Onley Park, entrance to Onley Park right hand side, CV23 8AW
General description	Open space green area connections to the land O-01 Open space land South of the Onley Park
Special to the community	For the villagers this is a fabulous place and a valuable open space area for the villagers to use. The open space connects the front of the village to the back and provides a nice walking route which is particularly appreciated by the older population of the village.
Beauty	The open space is really nice and enhances the village's road entrance
Tranquillity	As O-01
Public access status, ownership, etc.	Used daily by the residents and at times by public from the local area. Owned by Dunchurch Pools Marina.
Recreational value	Invaluable to the community.
Historic significance	As O-01
Wildlife significance	As O-01
NAME O-05 Open Space Land, Onley (southern edge of estate) left hand side	

Site	Entrance to the Onley Park Village left hand side.
Address/Location	Onley Park CV23 8AW
General description	Open space field is situated next to a wooded area and was been made into a balancing pond to assist with flooding when the 3 rd prison HMP Rye Hill was built in 2000. The field is now home to several ponies/horses belonging to residents, the land is owned by the Ministry of Justice and leased to a resident
Special to the community	Provides a safe and secure area for horses. It benefits from being in close proximity for residents who use the field for their horses
Proximity	Entrance to the east of Onley Park Village
Beauty	
Tranquillity	As the village is very peaceful with low traffic levels, it is ideal for keeping horses in safety and for horse riders to be able to utilise this area
Public access status, ownership, etc.	Not entirely open to the public due to being used for horses.
Recreational value	Invaluable for those who rent the land for their animals.
Historic significance	As O-01
Wildlife significance	As O-01
NAME O-06 Open Space Land, Onley (southern edge of estate) Right hand side	

The Meadow looking to the west up the field



The meadow looking towards the east down the field



Site	Entrance to the Onley Park Village right hand side.
Address/Location	Onley Park CV23 8AW
General description	Open space area which has been well kept by a family who reside at Onley Park. The land is owned by Ministry of Justice. It is a good place for residents to be able to watch the sunset
Special to the community	It is a very special place to the community now. The area, was very overgrown and in a bad condition until a local family decided to revamp the open space for the community's benefit.
Beauty	Very attractive area now
Tranquillity	As O-01
Public access status, ownership, etc.	Residents use this area regularly as it has great access to the footpaths around Onley Park. MOJ own the land
Recreational value	Invaluable
Historic significance	As O-01
Wildlife significance	As O-01

NAME

O-07(part) Onley Open Space: Play Area

Front View of play area

Back view showing green space around the play area



Site	Northeast of the main playing field
Address/Location	Onley Park CV23 8AW
General description	Small play area fenced off for the protection of young children,. In addition there is a green area around the park for children to play ball and other activities away from the main sports field.
Special to the community	Onley had no play area for many years and no Parish Council until 1998. The play area was installed by the council and is a huge community assett epecially for the young children of the village
Proximity	Onley, central
Beauty	For the village is it a fabulous place and large open green area for the villagers to use.
Tranquillity	As O-01
Public access status, ownership, etc.	Used by the residents. Owned by the Parish Council
Recreational value	Invaluable to the community.
Historic significance	As O-01
Wildlife significance	As O-01

NAME O-07 (part) Onley Open Space: tennis court (basketball court)	
	
Site	Onley park Green space and basketball court.
Address/Location	Onley Park CV23 8AW
General description	Basketball court is a great place for the younger generation to play basketball or tennis. It has a tarmac floor with wire fencing around the court.
Special to the community	The courts are used regularly by mostly the younger generation from the village.
Proximity	Onley, Northeast of the village.
Beauty	Part of the Open Spaces around the village
Tranquillity	As O-01
Public access status, ownership, etc.	Used daily by the residents and at times by some public from the local area. Owned by the Parish Council
Recreational value	Invaluable recreational space for the community.
Historic significance	As O-01
Wildlife significance	As O-01
NAME O-08 Open Space Land, Onley (northeast part of playing field)	
View from the front of the orchard	View from village hall entrance.



View looking south over the orchard.



Site	Onley Park Community Orchard
Address/Location	Onley Park, CV23 8AW
General description	The Community came up with the idea of making a community orchard, grants were applied for and were successful and the orchard was created in 2021.
Special to the community	Community project, where the community are able to enjoy the fruits of their labour. Providing an educational value to children of the village.
Proximity	Onley, central
Beauty	Very scenic location
Tranquillity	As O-01
Public access status, ownership, etc.	Used daily by the residents and at times by public from the local area. Owned by the Parish Council
Recreational value	Invaluable to the community.
Historic significance	As O-01
Wildlife significance	As O-01

NAME

O-09 Open Space Land, Onley (southern edge of estate)

Balancing pond area, picture 1 taken from junction on main prison drive. Photo 2 taken from main prison driver located next to the pony field.

1 Front view



2 picture from side view



Site	Onley Park Balancing pond
Address/Location	Onley Park, CV23 8AW
General description	
Special to the community	Part of the Open Spaces within the village
Proximity	Onley, central
Beauty	Very scenic
Tranquillity	As O-01
Public access status, ownership, etc.	Used daily by the residents and at times by public from the local area. Owned by the Parish Council
Recreational value	Invaluable to the community.
Historic significance	As O-01
Wildlife significance	As O-01

NAME

0-10 Open Space Land, Onley (triangular amenity OS, east of estate)

Open green open space with tree's in front of the bungalow at Onley Village.



Site	Onley Park green area
Address/Location	Onley Park, CV23 8AW
General description	Large green area with trees in front of the 1 bedroom bungalows, providing enhanced additional space for the small dwellings.
Special to the community	Area gives a feeling of openness which is especially helpful to the residents in smaller dwellings. The area helps with the well being and health of these residents.
Proximity	Onley, central
Beauty	The openness adds to the serenity of the space
Tranquillity	As O-01
Public access status, ownership, etc.	Used daily by the residents and at times by public from the local area. Owned by the Parish Council
Recreational value	Invaluable to the community.
Historic significance	As O-01
Wildlife significance	As O-01

NAME

O-11 Open space side of garages

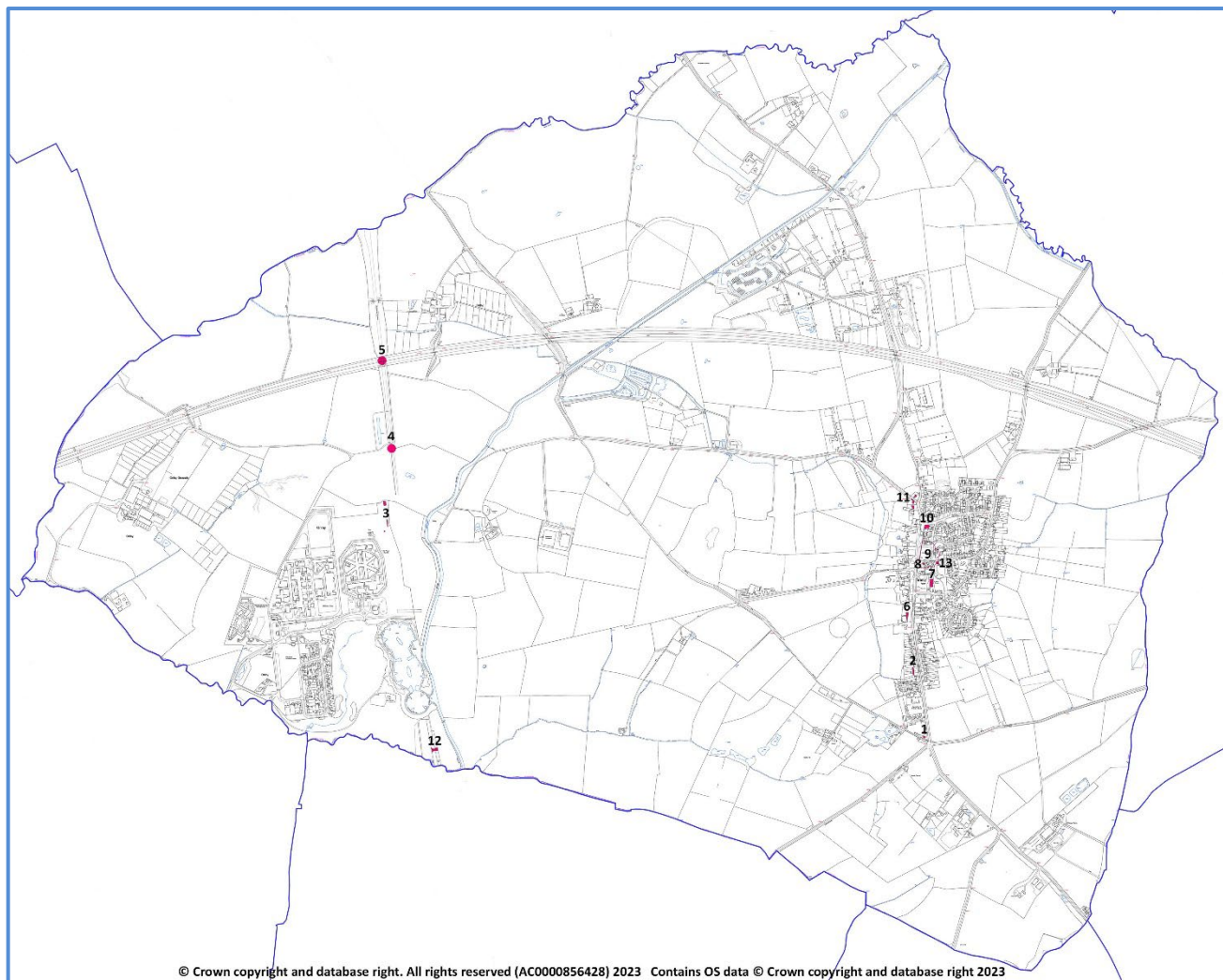


Site	Onley Park, beside the garages
Address/Location	Onley Park, CV23 8AN

General description	A small parcel of land just to the right of the garages.
Special to the community	Adding to the open feel of the village
Beauty	
Tranquillity	As O-01
Public access status, ownership, etc.	Used by residents to access the marina. Owned by the Parish Council
Recreational value	Not applicable
Historic significance	As O-01
Wildlife significance	Wildlife corridor from the village to the marina

Non-Designated Heritage Assets (the 'Local List')

1. LOCATIONS



2. EVIDENCE BASE

1. Barby water tower

Late 20th century concrete water tower providing head of pressure for the village domestic supply. It has become an icon – part of the identity of Barby – and its location is known locally as 'water tower crossroads'. Owned and operated by Anglian water and situated within the settlement boundary and close to the village school. Various telecoms etc. aerial/masts have been added to the top in recent years. Grey pre-cast (modular) concrete with the cylindrical tank on four tapering concrete stilt legs; central tower forming an enclosed stairwell (access for AW staff). Only example in the Plan Area



Local landmark: yes, significant; can be seen from several viewpoints

Community value: moderate (socially); essential (technically)

2. Nos. 46 to 52 Daventry Road, Barby

A terrace of four early 20th century council houses, the only social housing in the village from this period (now owned privately). Built late 1920s by Daventry Rural District Council; well-constructed good quality brick and tiled dwellings with a central arched passageway through to the back yards. The same design was used again for the council houses built in the early 1950s.



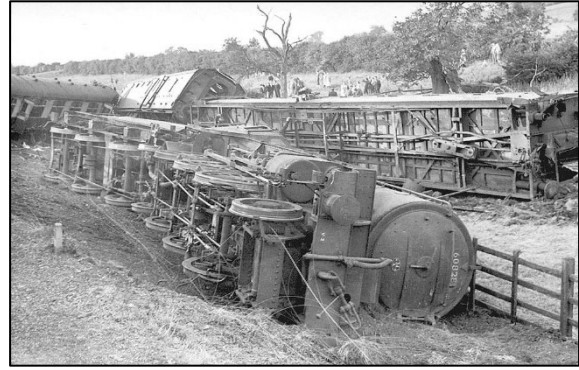
3. Structures associated with Barby Sidings, Great Central Main Line (GCML), and Barby Depot

Barby Sidings connected Barby WW2 depot to the GCML. It was built c1939 and formed part of a military supply depot for the Ministry of Food. The depot that formed around the sidings had a system of irregularly laid out roads extending across the majority of the Site, alongside which there were warehouse type buildings. The associated camp was to the east of the depot, between it and the railway. The depot was taken over in the post-war period by the Weedon Royal Ordnance Depot, and used for the storage of ammunition returned following the end of the war. The depot was closed in 1959, shortly after which the HMP Onley prison complex, just beyond the site to the west, was constructed. By 1963, most of the depot buildings had been demolished and cleared away.

Within the Parish (between the east of Onley settlement and the North Oxford Canal, close to canal bridge 79) several remaining features of the line are still visible.



The section of the GCML east of the depot later became infamous as the location of a serious railway accident (7th August 1955) in which the engine driver was killed and c.115 passengers were injured.



4. Railway overbridge, Great Central Main Line

Within the Parish the supporting pillars of one of the former railway bridges can still be seen. This bridge carried the railway to embankments to either side (both embankments are still visible) with bridleway EC14 now passing beneath the bridge. The embankment to the west side of the pillars now forms part of footpath EC17.



5. Railway overbridge, Great Central Main Line / M45 motorway)

In 1959 a new railway bridge, to carry the GCML over the newly constructed M45 motorway, was opened. The bridge is still visible on the landscape.

In 1963 *The Reshaping of British Railways* report, by Dr Beeching, recommended that British Railways close the GCML, which it did in 1966. All the remaining sites and features of the GCML are of special importance to the Parish as they reflect the 'industrial world' coming to a very rural settlement at the end of 19th century. The history of this site during WWII is particularly important as it brought the war to the 'home front' in the Parish - as can be seen on the Parish memorials, many Parishioners died in the war.



Age: 1959

6. Arnold House, Daventry Road, Barby

Formerly belonging to the Arnold family, Lords of the Manor of Barby. From the 1950s to 1978 it was the home of Mr Owen Maclaren MBE, an engineer who invented the Maclaren Baby Buggy in the 1960s. He used the outbuildings to test it and for the early production of his invention before moving into a new factory at Long Buckby. This inexpensive lightweight folding pushchair was revolutionary in design, and over two million buggies were sold worldwide.



7. The Old School, Kilsby Road, Barby

Built of brick and slate in 1865 by public subscription, before the Education Act of 1870, the first purpose-built school in Barby. The school had formerly been held in the church. From 1972 it has formed part of the Village Hall complex, a much used village amenity.



8. Poppy Hall, No. 4a The Green, Barby

Built of brick and slate as an Independent Chapel in the 1840s, an offshoot of the chapel at Kilsby. It had fallen into disuse by the First World War, and was converted into a War Memorial Hall in 1920, an alternative meeting place to the schoolroom. It fell into disrepair from the 1940s and was used as a storage facility until the 2000s when it was renovated and converted into a house. Although restored, the front elevation remains true to the original building.



9. The Green, Barby (Group Asset)

An attractive group of mainly small houses, old and new, of varying styles and mostly constructed of brick and slate, round three sides of the historic green, now the allotments. These buildings include the old Post Office (now Penny Stamp Cottage, No 20 #), Pinfold House (No 16 #), Poppy Hall (the old chapel; see above, No 4a) and No 6 # which is built partly of cob although refaced and set behind 6a.



South side



East side, Pinfold House at left, Old Post Office centre right



North side

10. The Arnold Arms, Ware Road, Barby

Built around 1899 of brick and slate with a distinctive front elevation, replacing an earlier cob building. This is the village's last remaining public house and is an important amenity.



11. Nos. 21, 23 and 56 Rugby Road, Barby

Three brick and slate cottages which date from the 1850s, situated each side of the road at the very north end of the village. No. 56 in particular (on the right, top image) is in a commanding position, situated looking south up the road towards the Arnold Arms. It was originally two cottages but has been one property for many years. Hillview No 23 (on left) was a new build in 1859.

No 21 (on the left, in bottom image) was extended in 2008, the exterior is in keeping with the adjacent Hillview, as stipulated by Daventry District Council, which at that time considered these three to be an interesting



group of similar properties of the mid nineteenth century, the character of which should be maintained.



12. Subway under Great Central Main Line

This railway underbridge was located so as to give access to agricultural land either side of the railway embankment; it is constructed of hard-fired bricks. The vertical walls of the underpass are constructed in English bond, the stretchers consisting of grey-brown bricks, the headers of black engineering bricks. Inside the subway, at the head of the vertical walls, a projecting dressed stone course is present, with surface mouldings. Above this, the vaulted roof of the subway is constructed of grey-brown bricks arranged in stretcher bond.

Each side of the embankment, the subway features a façade comprising a curved retaining wall either side of the underpass opening. brick buttresses support the flanking walls, and at their ends, brick columns.

The opening itself has four courses of vertical engineering brick headers arranged over the arch. The flanking walls follow the English bond pattern noted in the walls of the underpass, with engineering brick headers and grey-brown stretchers, starting in line with the arch and curving outwards through a right-angle to the extent of the embankment at each end.

[description adapted from Wardle, P., Lacey, C. and Papworth, H. 2016 *The medieval and post-medieval landscape of Onley Fields Farm, Northamptonshire*. PAW Publishers, Goring on Thames. Images from same source]



13. Barby War Memorial

Memorial wheel cross on single-stepped, square granite plinth. Incised inscription records names of local people killed in first and second world wars.

Unveiled and dedicated 7th November 1920, attended by General the Lord Horne and the Rev. C. Mitchison.

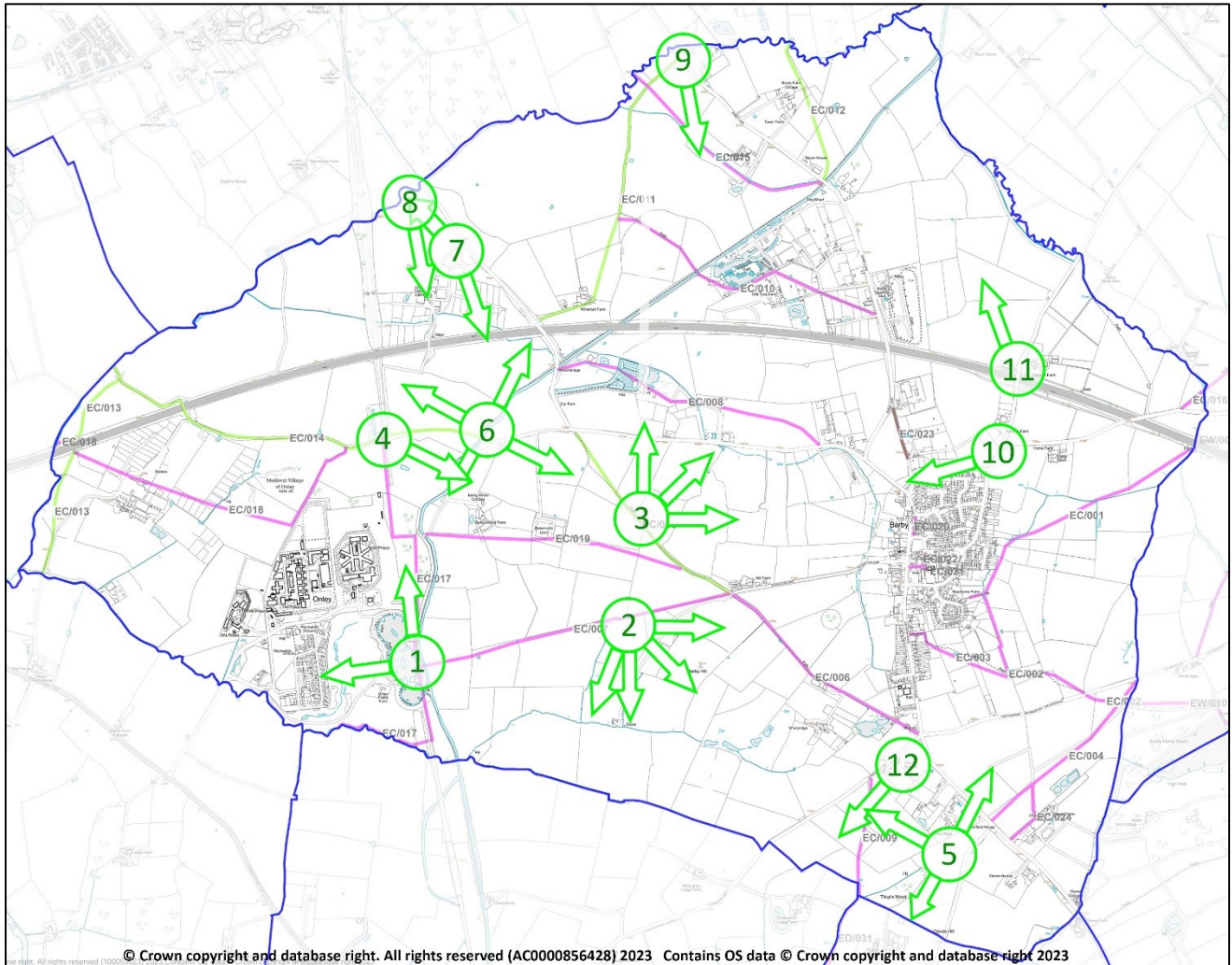
Imperial War Museum registered memorial reference 14845



APPENDIX F

Important views in Barby and Onley

1. LOCATIONS



2. EVIDENCE BASE

1. From Dunchurch Pools marina bridge (accessed from Oxford Canal towpath), panorama over the marina, west to Onley and north past spinney and the east side of the settlement, to the Plan Area boundary.





2. From footpath EC7 near the top of Barby Hill in field after the first stile (after crossroads, looking eastward towards Barby Hill, at top of Elkington Lane), going down to North Oxford Canal, 100° panorama south to east including two southward to the parish boundary; southeast toward Daventry area; and east to the southern end of Barby village.



3. From bridleway EC5 from top of Elkington Lane down toward the North Oxford Canal. View from where bridleway leaves woodland into open fields. 90° panorama east to north over North Oxford Canal, Rainsbrook valley and toward the Rugby and Dunchurch areas.





4. From top of disused railway embankment (now part of footpath EC17) between north side of the canal (Conservation Area) and Onley, looking south to Barby Hill with Barby Wood Farm (grade II Listed Building) in view.



5. From Barby Road, southwest, west and north over open countryside between Barby Road and Longdown Lane. Views to Barby Hill and down towards canal and Braunston



6. 360° views of and from the North Oxford Canal at canal bridge 79 (both in Conservation Area)



Canal bridge 79 (viewpoint) from bridleway EC14



Canal east to Hillmorton



Canal west to Braunston



From north of bridge northeast toward Rainsbrook valley and Onley Lane



South from bridge to Barby Hill

7. South and north from entrance of Onley Fields farm, Onley Lane. South towards canal and Barby Hill, north towards Rainsbrook valley and Plan Area boundary (and Rugby beyond)





8. South from miniature railway, over Rainsbrook valley to Barby Hill; encompasses view down Onley Lane between Barby and Rugby



9. South from Barby Lane over farmland and Rainsbrook valley to canal and Barby Hill. Takes in the length of Barby Lane (approach to Barby from Hillmorton)



10. West from Nortoft Lane (just south of Ashtree Farm) to Barby motte (Scheduled Monument) and the edge of Barby village



11. Northwest from Nortoft Lane over farmland by barn (just north of M45)) over Rainsbrook valley (with Rugby beyond)



12. Southwest and west from the edge of Barby sports field to open countryside and the Plan Area boundary. Braunston church spire and the Daventry transmitter on Borough Hill are visible; Camps Copse on the right



Camps Copse from Viewpoint 12

